



# Newnan City Council Meeting

JANUARY 24, 2023

Newnan City Hall  
Richard A. Bolin Council Chambers  
25 LaGrange Street  
6:30 PM

## CALL TO ORDER

## INVOCATION

## READING OF MINUTES

- [A.](#) Minutes from the Special Called Meeting on January 9, 2023
- [B.](#) Minutes from Regular Meeting on January 10, 2023

## REPORTS OF BOARDS AND COMMISSIONS

- C. 1 Appointment - Cultural Arts Commission, 3 year term
- D. 1 Appointment - Keep Newnan Beautiful, interim term until 8/1/2024
- E. 2 Appointments - Parks Commission, 3 year terms
- F. 2 Appointments - Planning Commission, 3 year terms
- G. 2 Appointments - Tree Commission, 3 year terms
- H. 1 Appointment - Newnan Youth Activities, 3 year term

## REPORTS ON OPERATIONS BY CITY MANAGER

## REPORTS AND COMMUNICATIONS FROM MAYOR

## NEW BUSINESS

- [I.](#) Public Hearing- Rezoning Request RZ2022-13 34.497 +/- acres located at 60 Hospital Road (Portion of Tax Parcel #N41A-001 & Tax Parcel #N41A-002) from OI-1 (Low Density Office and Institutional District) to PDR (Planned Development District) - Applicant's request to continue public hearing to the March 28, 2023 City Council Meeting
- [J.](#) Presentation of Interim Report from the Farmer Street Cemetery Commission
- [K.](#) Request for Streets and Sidewalk Closures for Main Street Events 2023
- [L.](#) Consideration to Exercise Open Container Amendment to Chapter 3, Alcoholic Beverages during Main Street NewnaNights concert series 2023

## UNFINISHED BUSINESS

- [M.](#) Continuance of Public Hearing-RZ2022-12 3.3 +/- acres located at 420 Jefferson Street (Tax Parcel #N57D-096) from RS-15 (Suburban Residential Single-Family Dwelling District-Medium Density) to CGN (General Commercial District)

## VISITORS, PETITIONS, COMMUNICATIONS & COMPLAINTS

- [N.](#) Request from Housing Authority of Newnan to continue to store trailers at 10 Jordan St.
- [O.](#) Request from Brent Walker and M.O.V.E Real Estate Group regarding properties on Ray St.

**MOTION TO ENTER INTO EXECUTIVE SESSION**

[P.](#) Motion to Enter into Executive Session

**ADJOURNMENT**

The special called meeting of the City Council of the City of Newnan, Georgia was held on Monday, January 9, 2023 at 12:00PM in the Richard A. Bolin Council Chambers of City Hall with Mayor Keith Brady presiding.

**CALL TO ORDER**

Mayor Brady called the meeting to order and delivered the invocation.

**PRESENT**

Mayor Keith Brady: Council members present: Ray DuBose, Rhodes Shell, George Alexander, Dustin Koritko and Paul Guillaume. Absent: Cynthia Jenkins. Also present: City Manager, Cleatus Phillips; City Clerk, Megan Shea; Assistant City Manager, Hasco Craver and City Attorney, Brad Sears

**ORDINANCE TO PROVIDE FOR THE ADOPTION OF A BUDGET, ITS EXECUTION AND EFFECT FOR THE FISCAL YEAR BEGINNING JANUARY 1, 2023 AND ENDING DECEMBER 31, 2023**

Motion by Councilman Alexander, seconded by Councilman Koritko to adopt the budget ordinance as presented. 2<sup>nd</sup> and Final Reading next agenda.

**MOTION CARRIED. (6-0)**

**ADOPTION OF THE 2023 PAY PLAN UPDATE**

Motion by Councilman Alexander, seconded by Mayor Pro Tem DuBose to adopt the resolution as presented.

**MOTION CARRIED. (6-0)**

**AMENDMENT TO THE CITY COUNCIL MEETING AGENDA FOR JANUARY 10, 2023**

Mayor Brady explained that the agenda for the January 10<sup>th</sup> meeting needs to be amended to remove the Pay Plan item that was just voted on and have a 2<sup>nd</sup> reading for the budget ordinance.

Motion by Councilman Alexander, seconded by Councilman Koritko to amend the January 10<sup>th</sup> agenda.

**MOTION CARRIED. (6-0)**

**ADJOURNMENT**

Motion by Councilman Alexander, seconded by Councilman Koritko to adjourn the meeting at 12:02PM.

**MOTION CARRIED. (6-0)**

\_\_\_\_\_  
Megan Shea, City Clerk

\_\_\_\_\_  
Keith Brady, Mayor

The regular meeting of the City Council of the City of Newnan, Georgia was held on Tuesday, January 10, 2022 at 2:30 p.m. in the Richard A. Bolin Council Chambers of City Hall with Mayor Keith Brady presiding.

**CALL TO ORDER**

Mayor Brady called the meeting to order and delivered the invocation.

**PRESENT**

Mayor Keith Brady: Council members present: Ray DuBose, Rhodes Shell, George Alexander, Cynthia Jenkins (arrived late), Dustin Koritko and Paul Guillaume. Also present: City Manager, Cleatus Phillips; Assistant City Manager, Hasco Craver; City Clerk, Megan Shea and City Attorney, Brad Sears.

**MINUTES – SPECIAL CALLED MEETING – DECEMBER 13, 2022**

Motion by Councilman DuBose, seconded by Councilman Alexander to dispense with the reading of the minutes of the Special Called meeting on December 13, 2022 and adopt them as presented.

**MOTION CARRIED. (6-0)**

**MINUTES – REGULAR COUNCIL MEETING – DECEMBER 13, 2022**

Motion by Councilman Alexander, seconded by Councilman Koritko to dispense with the reading of the minutes of the Regular Council meeting on December 13, 2022 and adopt them as presented.

**MOTION CARRIED. (6-0)**

**ELECTION OF MAYOR PRO TEM**

Motion by Councilman DuBose, seconded by Councilman Alexander to appoint Dustin Koritko as Mayor Pro Tem for 2023.

**MOTION CARRIED. (6-0)**

**APPOINTMENT OF DEPARTMENT HEADS**

City Manager recommended that all current department heads be re-appointed for 2023.

Motion by Councilman Alexander, seconded by Mayor Pro Tem Koritko to approve the recommendation and re-appoint all current Department Heads.

**MOTION CARRIED. (6-0)**

**APPOINTMENT OF CITY ATTORNEY**

Motion by Councilman Alexander, seconded by Councilman Guillaume to re-appoint Brad Sears as City Attorney for 2023.

**MOTION CARRIED. (6-0)**

**APPOINTMENT OF MUNICIPAL COURT JUDGE**

Motion by Councilman Alexander, seconded by Mayor Pro Tem Koritko to re-appoint Clay Collins as Municipal Court Judge for 2023.

**MOTION CARRIED. (6-0)**

**APPOINTMENT OF MUNICIPAL COURT JUDGE PRO TEM**

Motion by Councilman Alexander, seconded by Mayor Pro Tem Koritko to re-appoint Rufus Smith Jr. as Municipal Court Judge Pro Tem for 2023.

**MOTION CARRIED. (6-0)**

**APPOINTMENT OF COURT SOLICITOR**

Motion by Councilman Alexander, seconded by Mayor Pro Tem Koritko to re-appoint Danielle Sewell as Court Solicitor for 2023.

**MOTION CARRIED. (6-0)**

**APPOINTMENT OF PUBLIC DEFENDER**

Motion by Councilman Alexander, seconded by Mayor Pro Tem Koritko to re-appoint David Taylor as Public Defender for 2023.

**MOTION CARRIED. (6-0)**

**PRESENTATION- EXPLORE NEWNAN COWETA, INC.**

Heather Daniel, President and CEO of Explore Newnan-Coweta, Inc. presented the newly launched brand, visitors guide and website. They wanted to create an identity that encapsulates all that the community offers. Through research, focus groups and boots on the ground they determined that our community is eclectic, adventurous, down to earth, historic, vibrant, progressive and aspirational. With this they seek to encourage everyone to “Discover Your Curious” as their mantra.

Ms. Daniel highlighted features of the visitors guide and website, showing how to find everything around the County from dining and filming locations to lodging and local events.

**APPOINTMENT – CULTURAL ARTS COMMISSION, 3 YEAR TERM**

Continue to next agenda.

**APPOINTMENT – HOUSING AUTHORITY, 5 YEAR TERM**

Mayor Brady re-appointed Antoine Martin to the Housing Authority for another five-year term. No action required.

**APPOINTMENT – KEEP NEWNAN BEAUTIFUL, INTERIM APPOINTMENT**

Continue to next agenda.

**APPOINTMENTS – PARKS COMMISSION, 3 YEAR TERMS**

Motion by Councilman DuBose, seconded by Councilman Alexander to re-appoint Martin Smith to the Parks Commission.

**MOTION CARRIED. (7-0)**

Other two appointments continue to next agenda.

**APPOINTMENTS – PLANNING COMMISSION, 3 YEAR TERMS**

Motion by Mayor Brady, seconded by Councilwoman Jenkins to re-appoint Clay McEntire to the Planning Commission.

**MOTION CARRIED. (7-0)**

Other two appointments continue to next agenda.

**APPOINTMENTS – TREE COMMISSION, 3 YEAR TERMS**

Motion by Mayor Brady, seconded by Councilman Alexander to re-appoint J.R. Roberts to the Tree Commission.

**MOTION CARRIED. (7-0)**

Other two appointments continue to next agenda.

**APPOINTMENT – NEWNAN YOUTH ACTIVITIES, 3 YEAR TERM**

Continue to next agenda.

**CITY MANGER – SCHEDULE CITY FLOATING HOLIDAY FOR 2023**

City Manger recommended the floating holiday be President's Day for 2023.

Motion by Councilman Alexander, seconded by Mayor Pro Tem Koritko to approve the recommendation to set the City floating holiday as President's Day, February 20, 2023.

**MOTION CARRIED. (7-0)**

**PUBLIC HEARING- APPLICATION FOR ALCOHOL BEVERAGE LICENSE- THE REDNECK, INC.**

Mayor Brady opened a public hearing on the application for a Retail On Premise (Pouring) Sales of Distilled Spirits, Malt Beverages and Wine for The Redneck Gourmet at 11 North Court Sq.

A representative of applicant was present for the hearing. No one spoke for or against the application. Mayor Brady closed the public hearing. The City Clerk advised that all the documentation had been received and everything was in order.

Motion by Councilman Alexander, seconded by Councilwoman Jenkins to approve the application for a Retail On Premise (Pouring) Sales Distilled Spirits, Malt Beverages and Wine License.

**MOTION CARRIED. (7-0)**

**PUBLIC HEARING- APPLICATION FOR ALCOHOL BEVERAGE LICENSE- NEWNAN 2022, INC.**

Mayor Brady opened a public hearing on the application for a Retail On Premise (Package) Sales of Malt Beverages and Wine for Newnan 2022, Inc. at 1700 Newnan Crossing Blvd E.

A representative of applicant was present for the hearing. No one spoke for or against the application. Mayor Brady closed the public hearing. The City Clerk advised that all the documentation had been received and everything was in order.

Motion by Councilman Shell, seconded by Mayor Pro Tem Koritko to approve the application for a Retail On Premise (Package) Sales Malt Beverages and Wine License.

**MOTION CARRIED. (7-0)**

**RESOLUTION FOR SETTING QUALIFYING FEES FOR THE 2023 GENERAL ELECTION**

Motion by Councilman Alexander, seconded by Councilman Shell to adopt the resolution as presented.

**MOTION CARRIED. (7-0)**



**2<sup>ND</sup> AND FINAL READING – ORDINANCE TO PROVIDE FOR THE ADOPTION OF A BUDGET, ITS EXECUTION AND EFFECT FOR FISCAL YEAR BEGINNING JANUARY 1, 2023 AND ENDING DECEMBER 31, 2023**

Motion by Councilman Shell, seconded by Councilman Guillaume to adopt the budget as presented on 2<sup>nd</sup> and final reading.

**MOTION CARRIED. (7-0)**

**33 RAY ST. – OWNER UPDATE AND REQUEST FOR EXTENSION**

Matt Murray, Code Enforcement Officer, stated that this property was before Council in November and was given 30 days to repair or demolish. The property has been sold since then to Searchers Capital and a representative is present. Work has been done to the property, it looks presentable but there is still a lot to do.

Brandon Escobar from Houston, Texas stated that Searchers Capital is a hard money lending firm. They had given a loan to an investor for this property but they defaulted. Their plan is to have new sub flooring installed, repair the foundation and put up sheet rock and then sell the property. They are requesting 180 days to finish that work and try to wholesale, otherwise finish rehab and retail sell.

Councilman Shell asked about repairing the property to completion then selling. How long would it take to repair all of it? Mr. Escobar stated probably 3-4 months. Mayor Brady stated that the code offenses are what need to be addressed.

Mr. Murray said the exterior can probably be finished in 120 days with siding and roofing. There is a lot of interior works that needs to be done and the Building department would prefer all the work be done to completion. Council expressed concern that the property be wholesale after 180 days and then the new owner asks for another 180 days to complete interior. The house should be CO ready, code violations cleared.

Councilwoman Jenkins asked about the difference between clearing the code violations and a complete gut rehab. City Manager explained that there have been instances where the resolution to repair or demolish has been released prior to a property receiving a CO. Mostly though with these resolutions the properties are completed to CO ready.

Motion by Councilman Shell, seconded by Councilman Alexander to approve a 180-day extension to get the property CO ready.

**MOTION CARRIED. (7-0)**

**REQUEST FROM FOUNDATION CHURCH TO CLOSE W. WASHINGTON BETWEEN BROWN ST. AND JACKSON ST. ON APRIL 7<sup>TH</sup> FOR GOOD FRIDAY CELEBRATION**

Mayor Brady stated there have been some questions from neighbors regarding this request. Councilman Alexander said he has received many calls with concerns because

First Baptist Church is also having their Good Friday service at the same time and that last year it was loud. Parking was also a concern that was voiced. Could Foundation find an alternate location to hold their event?

Clint Nolder with Foundation Church spoke. He said they do 140 events every year in support of others outside of their church and this is the only one that is solely their event. In 2019 this was held on South Court Square and they would love to have it there again. They moved last year at the request of the City. They have no intention to disturb other churches or businesses. For the type of event they are having they want to be near the square.

Mr. Nolder offered to flip the stage so that sound is away from the other churches. They also have a parking team that can be brought in to help and setup a parking map. Mayor Brady asked why they are not considering Greenville St. Park? Mr. Nolder said they do events there but the square is a bit more magical. Mayor Brady also asked if the businesses in the area of West Washington have been contacted? Mr. Nolder said they always connect with the business owners and make them aware of any event of they are doing. They really try to ensure good relationships with the downtown business owners.

Councilwoman Jenkins expressed that more due diligence should be done before approving this, including reaching out to businesses on South Court Square if that location is going to be considered. She suggested tabling this and having it back on another agenda.

Councilman Koritko asked if the hours of the event could be reduced? Jason Walton with Foundation stated that in 2019 the hours were amended as requested by Council to help with high peak traffic time. They used the sidewalks instead of parking spaces which was easier. Last year they changed back to 10am-10pm since they were off the square.

Mayor Brady suggested they come up 2-3 options that could work and bring those back to Council and they can determine what will be the best for the area and neighbors. Mr. Nolder said that last year they did speak with all the churches and received good feedback. He asked that if Council could ask the people that are coming to them with objections to talk to Foundation as well.

Motion by Councilwoman Jenkins, seconded by Councilman Alexander to continue this request to the next agenda.

**MOTION CARRIED. (7-0)**

**OFF AGENDA**

Belinda Gibbs expressed concerns for the Chalk Level community. She grew up there and attended school there and still attends a historic church on Pinson Street, Mount Vernon First Baptist Church. On Pinson Street there are several homes in need of repair and needed repair even before the storm. There is also a home at 3 Johnson Avenue, a home behind her church and a home at 51 Pinson Street, all these homes need repair. She wants to see someone from Planning or Code Enforcement to voice concerns to the property owners and if they don't do what they are supposed to do the City should take over.

Mayor Brady thanked her for bringing her concerns and staff will make sure that Code Enforcement addresses them.

**EXECUTIVE SESSION**

**MOTION EXECUTIVE SESSION**

Motion by Mayor Pro Tem Koritko, seconded by Councilman Alexander that we now enter into closed session as allowed by O.C.G.A. Section 50-14-4 and pursuant to advice by the City Attorney, for the purpose of discussing legal issues and that we move, in open session to adopt a resolution authorizing and directing the Mayor or presiding officer to execute an affidavit in compliance with O.C.G.A. Section 50-14-4, and that this body ratify the actions of the Council taken in closed session and confirm that the subject matters of the closed session were within exceptions permitted by the open meetings law at 3:13PM.

**MOTION CARRIED. (7-0)**

**RESOLUTION/MAYOR'S AFFIDAVIT FOR EXECUTIVE SESSION**

Motion by Mayor Pro Tem Koritko, seconded by Councilman Alexander to adopt the resolution authorizing the Mayor to execute the affidavit stating that the subject matter of the closed portion of the Council was within the exceptions provided by O.C.G.A. Section 50-14-4(b).

**MOTION CARRIED. (7-0)**

**DOMINICK CLAIM**

Motion by Councilman Alexander, seconded by Mayor Pro Tem Koritko to deny the claim as modified.

**MOTION CARRIED. (7-0)**

**ADJOURNMENT**

Motion by Councilman Alexander, seconded by Mayor Pro Tem Koritko to adjourn the Council meeting at 3:17pm.

**MOTION CARRIED. (7-0)**

\_\_\_\_\_  
Megan Shea, City Clerk

\_\_\_\_\_  
Keith Brady, Mayor



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January 4, 2023

**VIA EMAIL ONLY**

Ms. Tracy Dunnavant, Planning Director  
The City of Newnan  
25 LaGrange Street  
Newnan, Georgia 30263

**RE: Application of Mill Creek Residential to Amend the Zoning Ordinance from OI-1 to PDR  
Approximately 34.497± Acres located at 60 Hospital Road,  
Newnan, Georgia**

Dear Ms. Dunnavant:

Please allow this letter to serve as a request to continue the City Council public hearing from January 24, 2023 to March 28, 2023 City Council public hearing on the above-referenced project so that Mill Creek Residential can continue to amend the plan. Based on comments at the Planning Commission meeting, Mill Creek desires to obtain additional exhibits and needs additional time. If additional funds are needed for any advertising costs, please let me know and we will be happy to forward same.

If you should need any additional information from me to process this request, please just let me know.

Yours Truly,

A handwritten signature in blue ink, appearing to read 'Melissa D. Griffis', written over a light blue circular stamp.

Melissa D. Griffis  
For Mill Creek Residential

MDG/kr

cc: Mr. Michael Canady



## City of Newnan, Georgia – Mayor and City Council

Date: January 24 2023

Agenda Item: Rezoning Request – RZ2022-13  
34.497± acres located at 60 Hospital Road(Portion of  
Tax Parcel #N41A-001 & Tax Parcel N41A-002) from OI-  
1 (Low Density Office and Institutional District) to PDR  
(Planned Development Residential District)

Prepared and Presented by: Dean Smith, Senior Planner

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## **REZONING ASSESSMENT**

### **APPLICANT INFORMATION:**

Melissa Griffis, Attorney at Law (representing)  
Mill Creek Residential  
3715 Northside Parkway  
Building 200, Suite 440  
Atlanta, GA 30327

Mill Creek Residential seeks to change the use for the subject property, which was formerly the site of Newnan Hospital, to a residential center. In order to accomplish this, the applicant is seeking a PDR (Planned Development Residential District) zoning classification for a portion of Tax Parcel N41A-001 and the Tax Parcel N41A-002, totaling approximately 34.497±acres located at 60 Hospital Road.

### **SITE INFORMATION:**

The overall site is 41.37± acres consisting of properties located on both sides of Hospital Road and Selt Road. This rezoning is focused on a portion of the overall site, consisting of approximately 34.497± acres. It is also identified as a portion of Tax Parcel N41A-001 and all of Tax Parcel N41A-002.

The site was the former location of Newnan Hospital and is currently vacant. The property is currently zoned OI-1 (Low Density Office and Institutional District).

Areas highlighted in orange denote rezoning area



### **OVERVIEW OF REQUEST:**

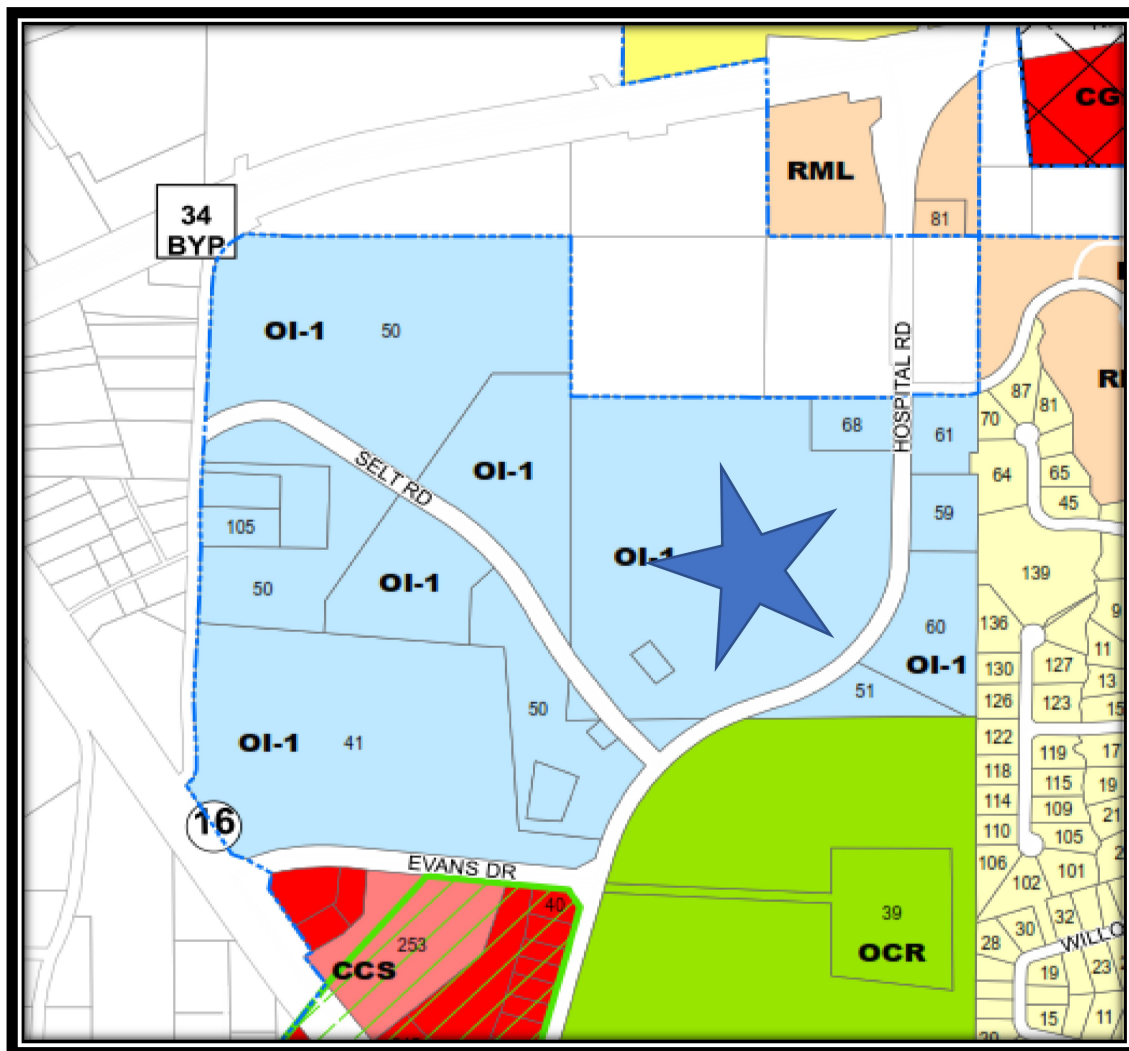
The applicant is requesting the rezoning of 34.497 ± acres located at 60 Hospital Road. The property is currently zoned OI-1 (Low Density Office and Institutional District) and the applicant is requesting PDR (Planned Development Residential District) for the development of a residential community. According to the application, the residential community will consist of 220 residential units. Out of the 220 units, 88 units are proposed as detached homes, or 40 % of the overall site and 133 units are proposed as attached townhouses, or 60% of the overall site. Out of the 133 townhouses, 86 are 25 foot wide front entry products; 16 are 22 foot wide rear entry products and 30 are 20 foot wide rear entry products. The applicant is further proposing that all this residential development will be a “build to rent” project with private streets and gated entrances. The applicant has provide additional information, contained in this application packet, noting projected market rent rates, which are \$2,355-\$2,455 for townhouses products and \$2,070 for the single family detached products.

Proposed square footage for the 30 foot wide detached residential product is 1,140 square feet. Proposed square footages for the attached townhouse products range from 1,599 to 1,701 square feet.

The proposed development also includes an amenity center with a fitness center/gym; swimming pool, playground, dog park and pickleball court.

The subject property is bordered by Low Office and Institutional zoning on the East and West. To the south is a combination of Low Office and Institutional zoning and Open Conservation and Recreation zoning.

To the north of the subject property is unincorporated Coweta County. According to the Coweta County Zoning/Land Development Guidance System Interactive Map, this area to the north of the subject property is zoned "Rural Conservation District"





## **STANDARDS:**

In formulating a decision, the Zoning Ordinance requires the Planning Commission and the City Council to consider the following standards. Staff has assessed each standard and identified those with a green check mark ✓ as standards being met by the proposed rezoning and those with a red "X" ✗ as standards not being met.

- 1. Is the proposed use suitable in view of the zoning and development of adjacent and nearby property?** The subject tract is bordered predominantly by nonresidential zoning designations and uses. Land abutting to the west, northwest and southwest is property owned by either Coweta County Government or Coweta County School System. Evans Middle School is in close proximity, as well as several industrial type structures, including the Coweta County Animal Shelter, Coweta County Public Works, Coweta County Fleet Maintenance Shop and Coweta County Corrections Work Release Center

Future Land Use Map identifies this tract as a Redevelopment Opportunity Area, which is described as "Areas designed to spur additional growth by allowing disinvested areas to be repurposed as livable, economically productive centers for business and social activity."

A residential development falls with the general parameters of a Redevelopment Opportunity Area as it revitalizes a former, vacated use into a viable and livable population center. The Comprehensive Plan, recently adopted by the City, does not specify types of residential uses in a Redevelopment Opportunity Area. Rather, it is intended to allow a project to be envisioned with a use suitable to the surrounding area. The proposed use would serve as a transition between commercial/office uses and more intense retail/commercial uses nearer Temple Avenue; however, the quasi-industrial uses to the west of the property do not coexist well historically with residential developments in the absence of sufficient landscape buffers to mitigate any nuisance issues emanating from the adjacent properties.

**Staff Assessment – PROPOSED USE IS SUITABLE WITH APPROPRIATE BUFFERS INSTALLED TO MITIGATE NOISE AND OTHER POTENTIAL NUISANCES FROM ADJACENT PROPERTIES ✓**

- 2. Will the proposed use adversely affect the existing use or usability of adjacent or nearby property?** The most significant impact resulting from this rezoning would be an expected increase in traffic. A traffic study has been prepared and included in the application. The proposed site plan illustrates two ingress/egress points onto and off of the site. The development is projected to generate 1,898 new trips per day. The study acknowledges existing traffic issues presently near the site with no new residential development and as part of their study and recommendation, the analyst suggests one way to alleviate problems is to adjust the signal timing at the intersection of Hospital Road and Temple Avenue.

**Staff Assessment – AN ADVERSE IMPACT ON TRAFFIC IS ANTICIPATED; HOWEVER, THE DEVELOPERS WILL WORK WITH THE CITY'S ENGINEERING**

**PERSONNEL TO DESIGN AND IMPLEMENT MITIGATION MEASURES TO MINIMIZE THE IMPACT X**

3. **Are their substantial reasons why the property cannot or should not be used as currently zoned?** The property is currently zoned for office development with only residential apartments above commercial properties as the only residential uses. To date, the City has not been asked to review any proposed development which would be allowed by the current zoning.

**Staff Assessment – PROPERTY CAN BE DEVELOPED AS CURRENTLY ZONED, HOWEVER, NO DEVELOPMENTS UNDER CURRENT ZONING HAVE BEEN PRESENTED TO THE CITY X**

4. **Will the proposed use cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?** Multifamily developments exceeding 150 units are required to submit a Community Impact Assessment (CIA) which examines services listed above and provides a financial analysis of the project. The full assessment is included as part of this rezoning application however, the following is a summary of those findings:
- **Police:** Police Chief Blankenship has indicated this development is estimated to cause an increase of approximately 459 calls, 25 motor vehicle accidents and 99 traffic stops in a three year period. Additionally, there will be an increase of people and vehicular traffic to the area. It would also have an impact on motor vehicle accidents and calls of service while also affecting call service and response times to other parts of the city. Chief Blankenship states that it is believed a strain will be placed on calls for service and this development would cause additional maintenance on equipment, and generate a monetary value of \$15,000.00 toward additional personnel
  - **Fire:** Fire Chief Brown indicates that the proposed development will impact the specific area with an increase in traffic and population, stating that the increase in call volume will impact the fire department with additional wear and tear on equipment and influence the effectiveness and strength of the department's manpower. While Chief Brown states that presently, they have the resources to provide service to this proposed development, the impact of the development may require additional equipment and personnel in the future.
  - **Newnan Utilities:** Scott Tolar with Newnan Utilities states that they have ample capacity to provide service to this proposed development.
  - **Engineering:** Michael Klahr, Director of Engineering Services for the City of Newnan has provided a report which is attached. Some excerpts are that the development will need to follow all appropriate and pertinent development regulations on environmental issues. The development will need two entrances with one being full access and the other being

a right in/right out with a physical barrier constructed to prevent illegal left turns into the development. No monuments or traffic hazards shall be located within the Right-of-Way.

- Traffic: A traffic study has been prepared and is submitted with this rezoning petition. The study concludes that the anticipated increase in traffic from this development should not make transportation along Hospital Road any worse than current conditions, provided that some recommendations are implemented, including providing right turn lanes at both entrances and a left turn lane at the full access entrance. Coordinate signal timing for the signals at SR 16/34 and SR 34 Bypass with the Georgia Department of Transportation. City Director of Engineering Michael Klahr, after reviewing the traffic study, has asked that the study address the intersection of Christian Drive and Hospital Road and that relevant approval signatures be obtained as noted on the Traffic Impact Study.
  - Under No-Build conditions, capacity analysis results indicate that each intersection is projected to operate at LOS 'D' or better during both peak hours except for the following intersections:
    - Hospital Road and Evans Drive, which is projected to operate at LOS 'E' or worse on the westbound approach during the PM Peak Hour by 2026 and the School Peak Hour by 2046, as well as the eastbound left movement during the PM Peak Hour by 2026.
    - Temple Avenue and Hospital Road/Franklin Road, which is projected to operate at LOS 'E' in the PM Peak Hour by 2046.
  - Under Build conditions, capacity analysis results indicate that each intersection is projected to operate at LOS 'D' or better during both peak hours except for the following intersections:
    - Hospital Road and Evans Drive, which is projected to operate at LOS 'E' or worse on the westbound approach and eastbound left movement during the PM Peak Hour by 2026 and the School Peak Hour by 2046.
    - Temple Avenue and Hospital Road/Franklin Road, which is projected to operate at LOS 'E' in the PM Peak Hour by 2046.

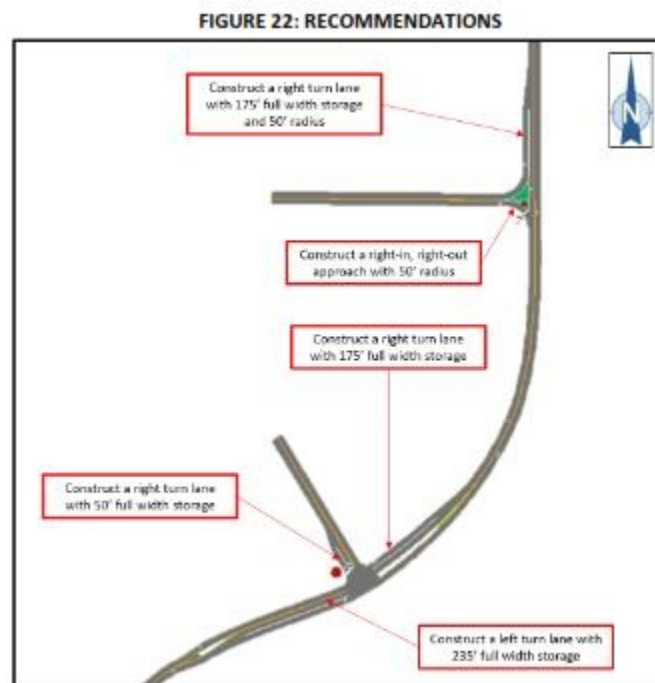
- Although the intersection of Hospital Road and Evans Drive experiences unacceptable operation during some of the Peak Hours beginning in 2026, the side street volumes are low and do not experience significant queueing. Therefore, it is recommended that this intersection remain under minor street stop control.
- The following intersections were waived from the ICE tool evaluation since they are not projected to be adversely affected by the proposed development in the Build conditions.
  - SR 34 Bypass and Hospital Road
  - Temple Avenue (SR 16/US 27 ALT) and Hospital Road/Franklin Road (SR 34)
- Timing improvements were evaluated at the signalized intersection of Temple Avenue and Hospital Road/Franklin Road to improve operation and queuing. The following timing improvements were implemented at each of the intersections:
  - 2026 AM: Implement 100 second cycle and optimize splits.
  - 2026 School: Implement 100 second cycle and optimize splits.
  - 2026 PM: Implement 100 second cycle and optimize splits.
  - 2046 AM: Implement 110 second cycle and optimize splits.
  - 2046 School: Implement 110 second cycle and optimize splits.
  - 2046 PM: Implement 120 second cycle and optimize splits.
- Although the other signalized intersections along Temple Avenue were not analyzed as part of this study, these intersections should be coordinated with Temple Avenue and Hospital Road/Franklin Road.

## RECOMMENDATIONS

Based on the findings from the study, the recommendations are as follows:

- Hospital Road and Driveway #1
  - Construct Driveway #1 with a left and right approach.
  - Construct the eastbound right turn lane with 50 feet full width storage.
  - Construct a northbound left turn lane with 235 feet full width storage.
  - Construct a southbound right turn lane with 175 feet full width storage.
- Hospital Road and Driveway #2
  - Construct Driveway #2 as a right-in, right-out approach with 50-foot turning radius.
  - Construct a southbound right turn lane with 175 feet will width storage and 50-foot turning radius.
- Temple Avenue and Hospital Road/Franklin Road
  - Implement time-of-day plans and coordinate with the other signalized intersections on Temple Avenue. The timing should be readjusted every couple of years.

Figure 22 below shows the project recommendations.



- Coweta County Schools: Coweta County School System Director of Facilities Ronnie Cheek in their response to the community impact assessment, stated in part, that due to the high density housing in the area of the proposal, school capacity is an ongoing concern with several schools serving the proposed area at or near capacity. The school system has asked that, if approved, the developer provide them with advance notice of the construction schedule, proposed build-out timeline, will project be built in phases and the target market.

- **Tax Revenue:** Per the CIA, it is estimated that the fair market value of the property identified as Tax Parcel N41A-001A is \$1,565,562 and \$5,056,656 for Tax Parcel N41A-001 at 100% appraised value as it stands currently. The applicant has adjusted the value by removing a portion of Tax Parcel N41A-001 that is not a subject of this rezoning petition and calculates a total combined tax value of \$6,435,018 at 100% appraised value.

The applicant states that at build out of the project, the anticipated tax value will be approximately \$54,500,000, representing an increase of approximately \$48 million dollars.

**Table 1, Tax Revenue Comparison, (2022 vs 2028)**

ESTIMATED INCREASE IN ANNUAL PROPERTY TAX VALUE (N41A 001 & N41A 001A)				APPRAISED VALUE (100%)	ASSESSED VALUE (40%)
Existing Values 2022				\$ 6,622, 218	\$2,648,887
Estimated Appraised Value at build out (2028)				\$ 54,500,000	\$21,800,000
Taxing Authority	Millage Rate 2022	Existing Assessment 2022	Improved Taxable Assessment 2028	Estimated Increase in Property Taxes	
Coweta County	0.006162	\$16,322.44	\$134,331.60	\$118,008.56	
Coweta County Schools	0.017140	\$45,421.93	\$373,652.00	\$328,230.00	
City of Newnan	0.003574	\$9,467.12	\$77,913.20	\$68,446.08	
<b>TOTALS TAXES</b>		<b>\$71,211.49</b>	<b>\$585,897.8</b>	<b>\$514,686.31</b>	

Additionally, the CIA indicates the property would generate impact fees to the City of Newnan and Newnan Utilities totaling \$1,041,089.

As with any development, the project will impact service provision. In this case, most of the service providers have responded that they can meet the demands from this development with additional resources added to their departments.

**Staff Assessment – PROJECT IS ESTIMATED TO HAVE AN IMPACT ON SERVICE PROVIDERS BUT IS NOT ANTICIPATED TO BURDENSOME OR EXCESSIVE ✓**

5. **Is the proposed use compatible with the purpose and intent of the Comprehensive Plan?** The Future Land Use Map shows this property as a Redevelopment Opportunity Area, which is further described in the Comprehensive Plan as *“Areas designed to spur additional growth by allowing disinvested areas to be repurposed as livable, economically productive centers for business and social activity.”*

In general terms, the subject property meets the definition of a “disinvested area”, as there have been no developers or builders actively engaged in improving neighborhoods, business or shared spaces in the community adjacent to the subject property.

In this regard, the proposed project meets the purpose and intent of a Redevelopment Opportunity Area.

**Staff Assessment – THE FUTURE LAND USE MAP SHOWS THIS PROPERTY AS REDEVELOPMENT OPPORTUNITY AREA ✓**

6. **Is the proposed use consistent with the purpose and intent of the proposed zoning district?** Currently, the existing zoning would not support a residential development. The proposed zoning designation of Planned Development Residential (PDR) does support residential development and encourages a mixture of residential housing products. The proposed development does contain a mixture of housing products.

**Staff Assessment – PROPOSED USE IS CONSISTENT WITH THE PURPOSE AND DESCRIPTION OF THE PROPOSED ZONING DISTRICT ✓**

7. **Is the proposed use supported by new or changing conditions not anticipated by the Comprehensive Plan?** The Future Land Use map shows the property as Redevelopment Opportunity Area, which is a new category created by the City during the most recent comprehensive plan update adopted by City Council in the Fall of 2021.

**Staff Assessment – RECENTLY COMPLETED UPDATES TO BOTH THE FUTURE LAND USE MAP AND COMPREHENSIVE PLAN SHOW THE PROPOSED DEVELOPMENT AS A USE CONSISTENT WITH REDEVELOPMENT OPPORTUNITY AREA ✓**

8. **Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?**

The area in question is predominantly nonresidential in nature and by zoning. The Bleakly Advisory Group housing study performed in 2019, found a need for more housing products other than large single-family houses and apartments. Within the past five years, the City has approved approximately 2,019 multifamily developments, including townhouse developments. The City has also recently rejected 4 multifamily development proposals. This proposed project is a multifamily development and should be evaluated as such. As with all growing municipalities, there is a need to provide

housing opportunities for individuals who do not desire or perhaps cannot afford home ownership.

This need increases as more retail and service providers in the Newnan and Coweta County area bring more moderate paying jobs and as our population continues to age. Diversification of the types of housing units is an opportunity for all residents; however, at this time a real question is does this proposal provide a housing diversification based upon current residential development.

There are several multifamily townhouse developments in process, albeit largely in the center and the eastern portions of the City. The City has very little residential development on the west side. The exception is that currently there is a site plan under review which proposing a 199 lot single-family detached home ownership neighborhood (Greystone subdivision located at across from the intersection of Hospital Road and Millard Farmer Industrial Boulevard).

There is a need for more housing that has been identified. The question for the Planning Commission is this site a location favorable for multifamily development.

**Staff Assessment – THE PROPOSED MULTIFAMILY PROJECT WOULD REFLECT A REASONABLE BALANCE, BUT THE QUESTION IS THIS AN APPROPRIATE LOCATION FOR A MULTIFAMILY DEVELOPMENT ✓**

#### **SUMMARY OF STANDARD ASSEMENT:**

After assessing the project based on the standards to be considered for rezoning requests, Staff found that the development meets **6 of the 8 standards**.

#### **ADDITIONAL REGULATORY CRITERIA TO CONSIDER:**

In February 2022, Newnan City Council adopted a revised Tree Conservation and Landscape Ordinance. Section 10-84 of that ordinance requires that any application for annexation, rezoning or preliminary subdivision plats, must include a Preliminary Tree Management Plan which shall include, at a minimum:

- Graphic representation of existing tree canopy;
- descriptive written or labeling information about existing tree canopy;
- total number of acres;
- number of disturbed acres;
- number of acres within any undevelopable portion, i.e. utility easements, floodplains, ponds, streams and stream buffers, etc.;
- graphic display and label any required or proffered buffers and provide acreage;
- number of actual tree save acreage, not including any of the categories listed above;
- provide detailed and graphic descriptions of all tree save areas and how tree save areas will be safeguarded and protected.



The City Landscape Architect conducts a preliminary review and recommends conditions to consider during the approval of any of the aforementioned processes. The applicant submitted what they labeled a Preliminary Tree Management Plan, which is contained in the attachments.

On December 1, 2022, City Landscape Architect & Arborist Mike Furbush provided the following comments on the proposed layout and site plan:

“...I have reviewed the recently submitted Tree Management Plan for Mill Creek Residential project along Hospital Road. While the plan does a decent job of showing the existing tree conditions, there is essentially no effort to save any of the existing trees. The 32.58 acre proposed residential project plan states that there will be a 00.10 acres tree save area, which hardly seems worth mentioning. Not only am I concerned about the lack of any site planning around the existing trees, but the proposed layout provides very little room for additional tree plantings. While there may some room provided for trees around the perimeter of the property, the interior of the project does not. Between the proposed buildings, driveways, required utilities, lack of front yards, and the close proximity of the curb lines, there does not appear to be enough room to be able to plant the number of trees that would be required...”

**STAFF SUGGESTED CONDITIONS TO CONSIDER:**

Should the Commission elect to recommend approval of the request, Staff would recommend the following condition be considered:

- The number of residential units be limited to no more than 220 units.
- Development shall be consistent with all plans, elevations, renderings and concept plans provided.
- Development shall provide amenities identified by the applicant: clubhouse, clubroom, leasing offices, fitness center, swimming pool, pickleball court, playground and dog park.
- Developer shall install all traffic mitigation measures as determined by the traffic study and approved by the City Engineer and work with City Engineer to answer questions raised by the traffic study.
- Sufficient buffers should be designed with the development to insulate the residences from potential noise and similar nuisances that may emanate from adjacent properties to the west and north of the subject property.

**PLANNING COMMISSION HEARING:**

On December 20, 2022, a Public Hearing was held before the City of Newnan’s Planning Commission. During the hearing, there were several nearby residents who spoke in opposition to the proposed rezoning petition. At the conclusion of the public hearing, the Planning Commission voted to forward to City Council a recommendation of denial of the rezoning request by a 7-0 vote.

**PUBLIC INPUT:**

Attached to this agenda item are several emails that were sent by residents expressing opposition to the proposed rezoning request.

On January 4, 2023, the City received a request from the applicant to continue the City Council Public Hearing until the City Council meeting scheduled for March 28, 2023 at 6:30 p.m.

**OPTIONS:**

- A. Approve the request to continue the public hearing until March 28, 2023
- B. Move forward on the rezoning petition with an action of either approval or denial.

**ATTACHMENTS:**      Application for Rezoning and accompanying documents  
Public objections

**Mill Creek Residential  
34.07± acres located at 60 Hospital Road  
Land Lot 59, 5<sup>th</sup> Land District  
City of Newnan, Georgia;  
Tax Parcel #N41A-001 (a portion) and  
Tax Parcel #N41A-002**

**ORDINANCE TO AMEND THE ZONING MAP FOR PROPERTY  
LOCATED IN LAND LOT 59 OF THE 5TH LAND DISTRICT  
IDENTIFIED AS 60 HOSPITAL ROAD IN THE CITY OF NEWNAN, GEORGIA**

WHEREAS, the owner of the property described herein has filed an application to rezone the property described on Exhibit "A" attached hereto identified as 34.07± acres located at 60 Hospital Road in Land Lot 59, 5th Land District, Coweta County, Georgia, and shown on Plat of Survey for Newnan Court dated November 30, 2022 attached hereto as Exhibit "B", from OI-1 (Low Density Office and Institutional District) to the City of Newnan Zoning Classification PDR (Planned Development Residential) District ; and

WHEREAS, in accordance with the requirements of the City Zoning Ordinance, the Planning Commission of the City of Newnan has forwarded its recommendation to the City Council; and

WHEREAS, pursuant to said requirements of the City Zoning Ordinance, the City Council has conducted a properly advertised public hearing on the rezoning application not less than 15 nor more than 45 days from the date of publication of notice, which public hearing was held on the 24<sup>th</sup> day of January, 2023; and

WHEREAS, after the above-referenced public hearing, the City Council has determined the re-zoning of the property would be in the best interest of the residents, property owners and citizens of the City of Newnan, Georgia; and

NOW THEREFORE BE IT ORDAINED, by the City Council of the City of Newnan, Georgia, that the Zoning Map of the City of Newnan be revised as follows:

Section I. That the property described on Exhibit "A" attached hereto and shown on Plat of Survey for Newnan Court dated November 30, 2022, attached hereto as Exhibit "B", containing 34.07± acres attached hereto and by reference made a part hereof be rezoned City of Newnan Zoning Classification PDR (Planned Development Residential) subject to the following conditions:

1. The number of residential units be limited to no more than 220 units.
2. Development shall be consistent with all plans, elevations, renderings and concept plans provided with the re-zoning application.

3. Development shall provide amenities identified by the applicant: clubhouse, clubroom, leasing offices, fitness center, swimming pool, pickleball court, playground and dog park.
4. Developer shall install all traffic mitigation measures as determined by the traffic study and approved by the City engineer and work with City engineer to answer questions raised by the traffic study.
5. Sufficient buffers should be designed with the development to insulate the residences from potential noise and similar nuisances that may emanate from adjacent properties to the west and north of the subject property.
6. Comply with the City's Tree Landscape Ordinance to the satisfaction of the City's Landscape Architect.

Section II. All ordinances or parts of ordinances in conflict or inconsistent with this Ordinance hereby are repealed.

Section III. Severability. In the event any section, subsection, sentence, clause, or phrase of this ordinance shall be declared or adjudged invalid or unconstitutional, such adjudication shall in no manner affect the previously existing provisions of the other sections, subsections, sentences, clauses, or phrases of this ordinance, which shall remain in full force and effect as if the section, subsection, sentence, clause, or phrase so declared or adjudicated invalid or unconstitutional were not originally a part thereof. The City Council hereby declares that it would have passed the remaining parts of this ordinance or retained the previously existing provisions if it had known that such part or parts hereof would be declared or adjudicated invalid or unconstitutional.

Section IV. This ordinance shall be effective upon adoption.

DONE, RATIFIED, and PASSED, by the City Council of the City of Newnan, Georgia, this the \_\_\_\_ day of \_\_\_\_\_, 2023 in regular session assembled.

ATTEST:

\_\_\_\_\_  
Megan Shea, City Clerk

\_\_\_\_\_  
L. Keith Brady, Mayor

REVIEWED AS TO FORM:

\_\_\_\_\_  
C. Bradford Sears, Jr., City Attorney

\_\_\_\_\_  
Dustin Koritko ,Mayor Pro-Tem

\_\_\_\_\_  
Cleatus Phillips, City Manager

\_\_\_\_\_  
George M. Alexander, Councilmember

\_\_\_\_\_  
Cynthia E. Jenkins, Councilmember

\_\_\_\_\_  
Rhodes H. Shell, Councilmember

\_\_\_\_\_  
Raymond F. DuBose, Councilmember

\_\_\_\_\_  
Paul Guillaume, Councilmember

SURVEY LEGAL DESCRIPTION

TRACT 1

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 59, DISTRICT 5, CITY OF NEWNAN, COWETA COUNTY, GEORGIA; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD (100' R/W) WITH THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD (80' R/W); THENCE TRAVELING ALONG THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 184.88 FEET AND A RADIUS OF 954.55 FEET, BEING SUBTENDED BY A CHORD OF NORTH 50 DEGREES 17 MINUTES 43 SECONDS EAST A DISTANCE OF 184.59 FEET TO A 1/2" REBAR FOUND, SAID POINT BEING THE POINT OF BEGINNING;

THENCE LEAVING SAID RIGHT OF WAY NORTH 89 DEGREES 22 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 254.41 FEET TO A POINT ON THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD; THENCE TRAVELING ALONG SAID RIGHT OF WAY ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 389.38 FEET AND A RADIUS OF 2578.53 FEET, BEING SUBTENDED BY A CHORD OF NORTH 36 DEGREES 30 MINUTES 17 SECONDS WEST A DISTANCE OF 389.01 FEET TO A 3/8" BENT REBAR FOUND; THENCE LEAVING SAID RIGHT OF WAY NORTH 00 DEGREES 21 MINUTES 16 SECONDS EAST FOR A DISTANCE OF 1050.44 FEET TO A CAPPED REBAR FOUND; THENCE SOUTH 89 DEGREES 49 MINUTES 14 SECONDS EAST FOR A DISTANCE OF 646.06 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 89 DEGREES 49 MINUTES 14 SECONDS EAST FOR A DISTANCE OF 300.00 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 00 DEGREES 30 MINUTES 26 SECONDS WEST FOR A DISTANCE OF 239.91 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 00 DEGREES 30 MINUTES 35 SECONDS WEST FOR A DISTANCE OF 10.00 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 89 DEGREES 48 MINUTES 09 SECONDS EAST FOR A DISTANCE OF 289.56 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY OF HOSPITAL ROAD; THENCE TRAVELING ALONG THE WESTERLY AND NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD THE FOLLOWING FOUR (4) COURSES AND DISTANCES: SOUTH 00 DEGREES 27 MINUTES 27 SECONDS WEST FOR A DISTANCE OF 50.00 FEET TO A NAIL WITH SHINER FOUND; THENCE SOUTH 00 DEGREES 27 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 322.57 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 824.24 FEET AND A RADIUS OF 636.71 FEET, BEING SUBTENDED BY A CHORD OF SOUTH 37 DEGREES 32 MINUTES 35 SECONDS WEST A DISTANCE OF 767.88 FEET TO A POINT; THENCE WITH A REVERSE CURVE TO THE LEFT WITH AN ARC LENGTH OF 313.28 FEET AND A RADIUS OF 955.25 FEET, BEING SUBTENDED BY A CHORD OF SOUTH 65 DEGREES 13 MINUTES 59 SECONDS WEST A DISTANCE OF 311.88 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 32.606 ACRES AND IS DEPICTED ON THAT CERTAIN ALTA/NSPS PLAT OF SURVEY PREPARED BY LANDPRO SURVEYING AND MAPPING, INC., SEALED AND CERTIFIED BY JAMES H. RADER, GRLS NO. 3033, DATED AUGUST 19, 2022, REVISED SEPTEMBER 23, 2022.

PARCEL 3

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 59, DISTRICT 5, CITY OF NEWNAN, COWETA COUNTY, GEORGIA; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD (100' R/W) WITH THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD (80' R/W); THENCE TRAVELING ALONG THE NORTHWESTERLY AND WESTERLY RIGHT OF WAY OF HOSPITAL ROAD THE FOLLOWING FIVE (5) COURSES AND DISTANCES: ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 184.88 FEET AND A RADIUS OF 954.55 FEET, BEING SUBTENDED BY A CHORD OF NORTH 50 DEGREES 17 MINUTES 43 SECONDS EAST A DISTANCE OF 184.59 FEET TO A 1/2" REBAR FOUND; THENCE WITH A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 313.28 FEET AND A RADIUS OF 955.25 FEET, BEING SUBTENDED BY A CHORD OF NORTH 65 DEGREES 13 MINUTES 59 SECONDS EAST A DISTANCE OF 311.88 FEET TO A POINT; THENCE WITH A REVERSE CURVE TO THE LEFT WITH AN ARC LENGTH OF 824.24 FEET AND A RADIUS OF 636.71 FEET, BEING SUBTENDED BY A CHORD OF NORTH 37 DEGREES 32 MINUTES 35 SECONDS EAST A DISTANCE OF 767.88 FEET TO A POINT; THENCE NORTH 00 DEGREES 27 MINUTES 28 SECONDS EAST FOR A DISTANCE OF 322.57 FEET TO A NAIL WITH SHINER FOUND; NORTH 00 DEGREES 27 MINUTES 27 SECONDS EAST FOR A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING;

THENCE LEAVING SAID RIGHT OF WAY NORTH 89 DEGREES 48 MINUTES 09 SECONDS WEST FOR A DISTANCE OF 289.56 FEET TO A 1/2" REBAR FOUND; THENCE NORTH 00 DEGREES 30 MINUTES 35 SECONDS EAST FOR A DISTANCE OF 10.00 FEET TO A 1/2" REBAR FOUND; THENCE NORTH 00 DEGREES 30 MINUTES 26 SECONDS EAST FOR A DISTANCE OF 239.91 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 89 DEGREES 25 MINUTES 32 SECONDS EAST FOR A DISTANCE OF 288.91 FEET TO A 1/2" REBAR FOUND ON THE WESTERLY RIGHT OF WAY OF HOSPITAL ROAD; THENCE TRAVELING ALONG SAID RIGHT OF WAY SOUTH 00 DEGREES 21 MINUTES 29 SECONDS WEST FOR A DISTANCE OF 248.01 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 1.653 ACRES AND IS DEPICTED ON THAT CERTAIN ALTA/NSPS PLAT OF SURVEY PREPARED BY LANDPRO SURVEYING AND MAPPING, INC., SEALED AND CERTIFIED BY JAMES H. RADER, GRLS NO. 3033, DATED AUGUST 19, 2022, REVISED SEPTEMBER 23, 2022.

THE PROPERTY IS THE SAME PROPERTY AS REFERENCED IN THAT TITLE COMMITMENT NO. 220000140280 BY STEWART TITLE GUARANTY COMPANY WITH AN EFFECTIVE DATE OF JULY 19, 2022 @ 8:00 a.m.

TRACT 2

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 59, DISTRICT 5, CITY OF NEWNAN, COWETA COUNTY, GEORGIA; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD (100' R/W) WITH THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD (80' R/W); THENCE TRAVELING ALONG THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD THE FOLLOWING THREE (3) COURSES AND DISTANCES: NORTH 43 DEGREES 17 MINUTES 35 SECONDS WEST FOR A DISTANCE OF 138.82 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 26.34 FEET AND A RADIUS OF 2578.53 FEET, BEING SUBTENDED BY A CHORD OF NORTH 41 DEGREES 07 MINUTES 25 SECONDS WEST A DISTANCE OF 26.34 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 389.38 FEET AND A RADIUS OF 2578.53 FEET, BEING SUBTENDED BY A CHORD OF NORTH 36 DEGREES 30 MINUTES 17 SECONDS WEST A DISTANCE OF 389.01 FEET TO A 3/8" BENT REBAR FOUND; THENCE LEAVING SAID RIGHT OF WAY SOUTH 00 DEGREES 21 MINUTES 16 SECONDS WEST FOR A DISTANCE OF 143.62 FEET TO A 1/2" REBAR FOUND ON THE SOUTHWESTERLY RIGHT OF WAY OF SELT ROAD, SAID POINT BEING THE POINT OF BEGINNING;

THENCE TRAVELING ALONG THE SOUTHWESTERLY RIGHT OF WAY OF SELT ROAD ALONG A CURVE TO THE LEFT WITH AN ARC LENGTH OF 210.45 FEET AND A RADIUS OF 2658.53 FEET, BEING SUBTENDED BY A CHORD OF SOUTH 37 DEGREES 03 MINUTES 25 SECONDS EAST A DISTANCE OF 210.40 FEET TO A 1/2" REBAR FOUND; THENCE LEAVING SAID RIGHT OF WAY NORTH 89 DEGREES 22 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 127.82 FEET TO A 1/2" REBAR FOUND; THENCE NORTH 00 DEGREES 21 MINUTES 16 SECONDS EAST FOR A DISTANCE OF 166.49 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 0.238 ACRES AND IS DEPICTED ON THAT CERTAIN ALTA/NSPS PLAT OF SURVEY PREPARED BY LANDPRO SURVEYING AND MAPPING, INC., SEALED AND CERTIFIED BY JAMES H. RADER, GRLS NO. 3033, DATED AUGUST 19, 2022, REVISED SEPTEMBER 23, 2022.





40 SOUTHVIEW  
 10000 WOODBRIDGE  
 ATLANTA, GA 30337  
 WWW.SCHWABERENGINEERING.COM

SEAL	
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NO.	DATE	REVISIONS

PROJECT TITLE  
 NEWMAN COURT  
 LAND LOTS 58 & 59  
 5TH DISTRICT  
 NEWMAN, GA

PREPARED FOR  
 MILLCRE  
 3755 NORTHSIDE PkA  
 BLDG 200 SUITE 400  
 ATLANTA, GA 30327  
 404.623.7272

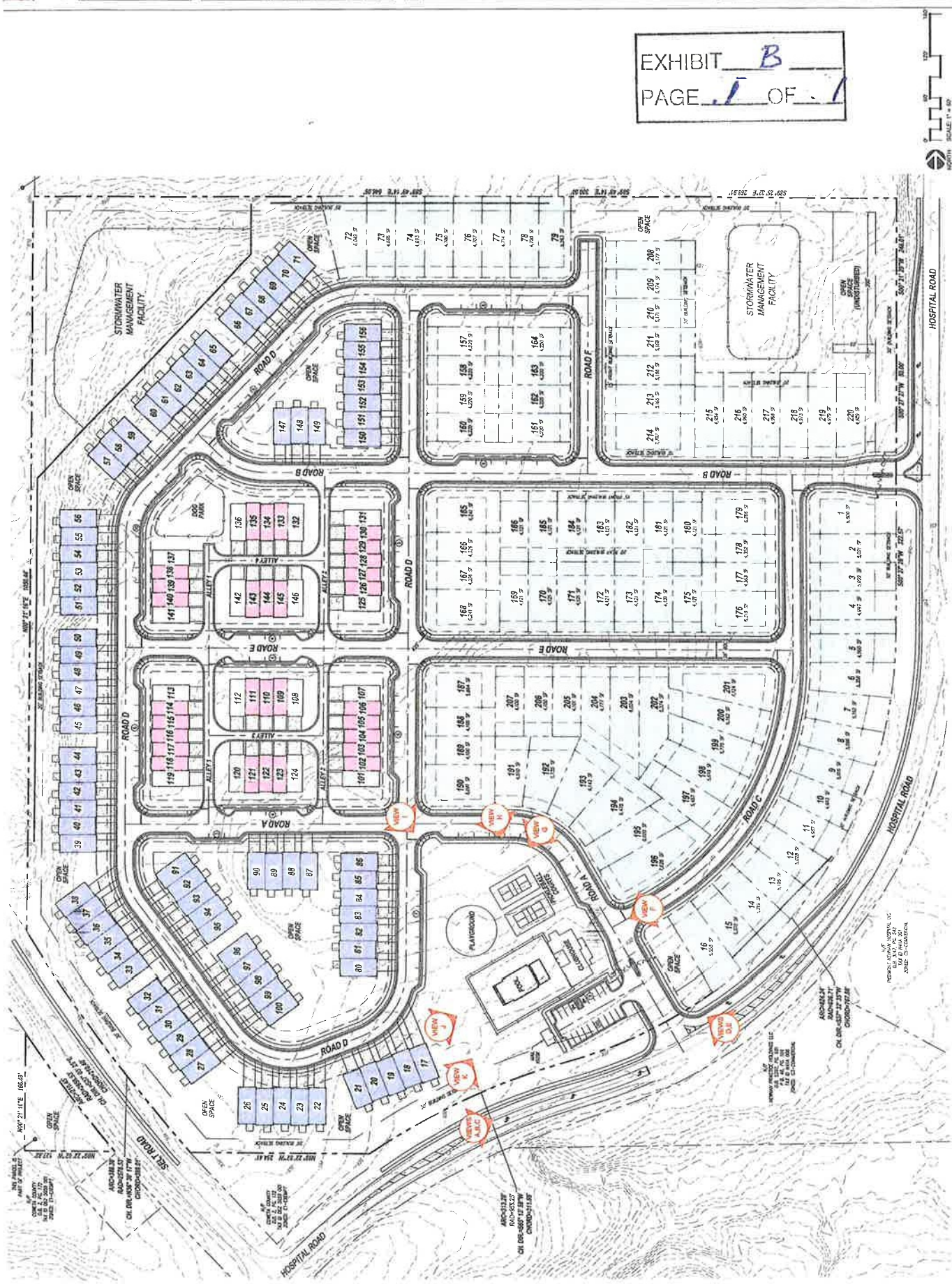
SHEET TITLE  
 RENDERINGS  
 KEY PLAN

DRAWN BY  
 CHECKED BY  
 DATE  
 NOVEMBER 30, 2

CLIENT REVIEW  
 FOR PERMIT FINDER  
 NO SET  
 CONTRACTION  
 SHEET NUMBER

R1.0

EXHIBIT B  
 PAGE 1 OF 1





**HORNE & GRIFFIS, P.C.**  
32 South Court Square, P.O. Box 220  
Newnan, Georgia 30264  
[www.newnanlaw.com](http://www.newnanlaw.com)

MELISSA D. GRIFFIS (GA, AL)

Telephone (770) 253-3282  
FAX (770) 251-7262  
Email: [melissa@newnanlaw.com](mailto:melissa@newnanlaw.com)

October 7, 2022

**VIA HAND DELIVERY**

The City of Newnan  
Ms. Megan Shea, City Clerk  
25 LaGrange Street  
Newnan, Georgia 30263

**RE: Application of Mill Creek Residential to Amend the Zoning Ordinance from OI-1 to PDR  
Approximately 34.497± Acres located at 90 Hospital Road,  
Newnan, Georgia**

Dear Ladies and Gentlemen:


In the near future you will be considering the above applications to annex and rezone approximately 34.497 ± Acres located on Hospital Road into the City of Newnan. We look forward to the opportunity to bring this request to your attention and do anticipate your full support in this endeavor. Among the facts supporting the request are the following:

- The proposal would not adversely affect the existing use or usability of adjacent or nearby property.
- The proposal will not result in a use which will or would cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.
- The proposal will facilitate the principles of smart development so highly valued by the City of Newnan.

Although we anticipate approval of this request, as required under Georgia law we must formally notify you that a denial of the requested rezoning amendment would deny and deprive the applicants and property owners of their constitutional rights, because any such denial would be arbitrary, capricious, unreasonable, unrelated to any public purpose and the denial of equal protection rights.

Should you have any questions or desire to discuss this matter, please feel free to contact me, at your convenience.

Yours Truly,

A handwritten signature in cursive script, appearing to read "Melissa D. Griffis".

Melissa D. Griffis

MDG/kr

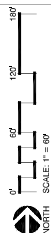
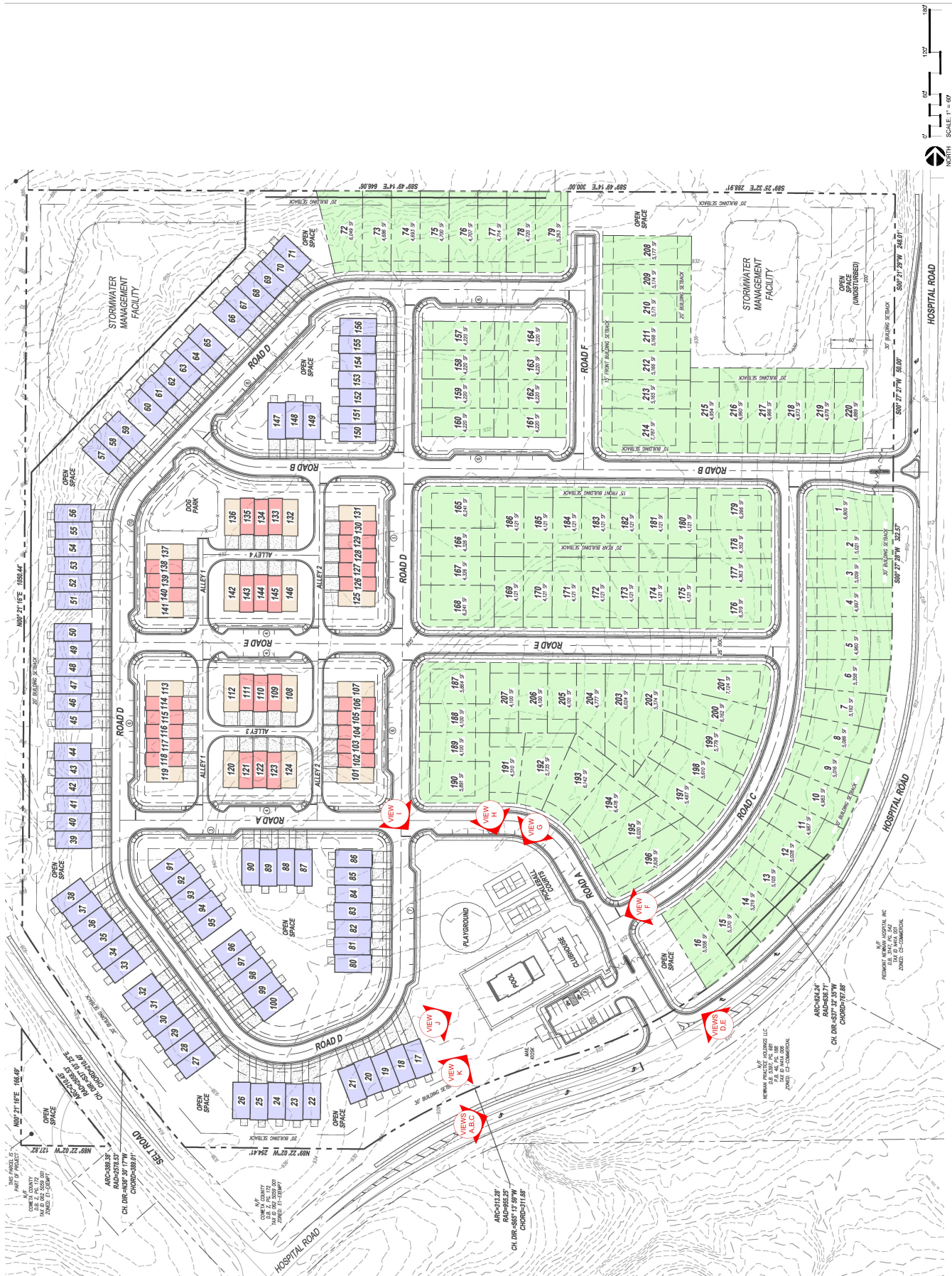
c: Mr. C. Bradford Sears, City Attorney  
Mr. Cleatus Phillips, City Manager  
Mr. Keith Brady, Mayor  
Mr. Rhodes Shell  
Mr. George M. Alexander  
Mr. Ray DuBose, Mayor Pro Tem  
Mr. Paul Guillaume  
Ms. Cynthia Jenkins  
Mr. Dustin Koritko

NO.	DATE	REVISIONS

PROJECT TITLE  
**NEWMAN COURT**  
 LAMP LOTS 58 & 59  
 5TH DISTRICT  
 NEWMAN, GA

PREPARED FOR:  
**MILL CREEK**  
 REALTY, INC.  
 3715 NORTHSIDE PKWY  
 BLDG 200 SUITE 400  
 ATLANTA, GA 30327  
 404.863.1272

SHEET TITLE	RENDERINGS
KEY PLAN	KEY PLAN
DRAWN BY	CHECKED BY
DATE	NOVEMBER 30, 2022
CLIENT REVIEW	
START / REVIEW	
NO. SET	
CONSTRUCTION	
SHEET NUMBER	R1.0



SEAL

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REVISIONS	
#	DATE

PROJECT TITLE

NEWMAN COURT  
5TH DISTRICT  
NEWMAN, GA  
LAND LOTS 58 & 59

PREPARED FOR:  
**MILL CREEK**  
3745 NORTHIDE PKWY  
BLDG 200 SUITE 400  
ATLANTA, GA 30327  
404.653.7772

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

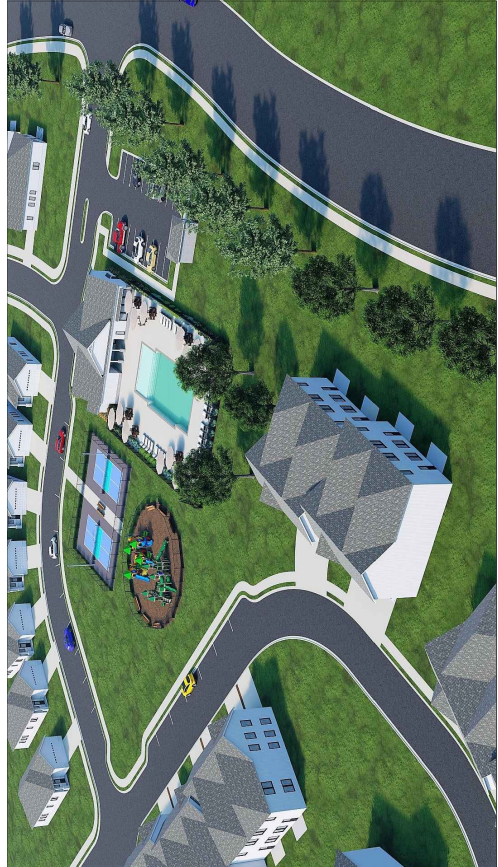
DATE

NOVEMBER 30, 2022

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<input type="checkbox"/>	FOR PERMIT REVIEW
<input type="checkbox"/>	BID SET
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SHEET NUMBER

R1.1



VIEW B



VIEW D



VIEW A



VIEW C

SEAL	
------	--

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REVISIONS	
#	REVISIONS

PROJECT TITLE

NEWMAN COURT  
LAND LOTS 58 & 59  
5TH DISTRICT  
NEWMAN, GA

PREPARED FOR:  
**MILL CREEK**  
RESIDENTIAL  
3716 NORTHSIDE PKWY  
BLDG 200 SUITE 400  
ATLANTA, GA 30327  
404.623.7272

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

DRAWN: MSB  
CHECKED: CCS

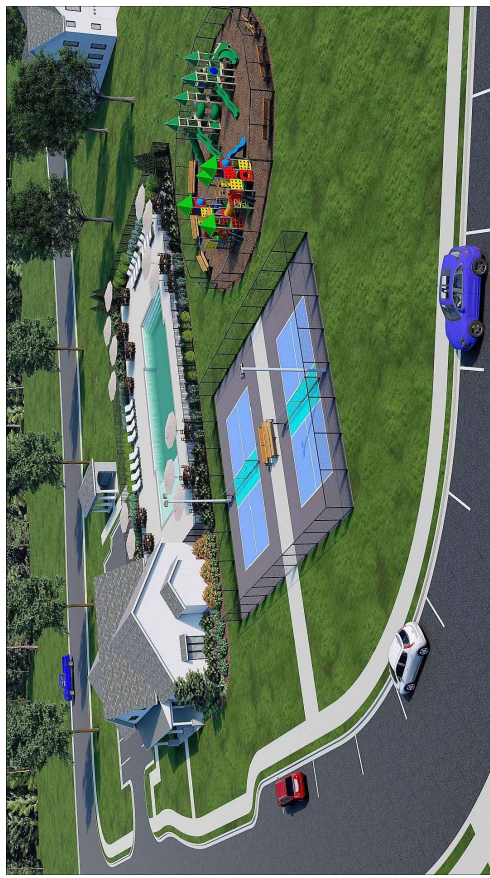
DATE  
NOVEMBER 30, 2022

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<input type="checkbox"/>	CONSTRUCTION

SHEET NUMBER  
**R1.2**



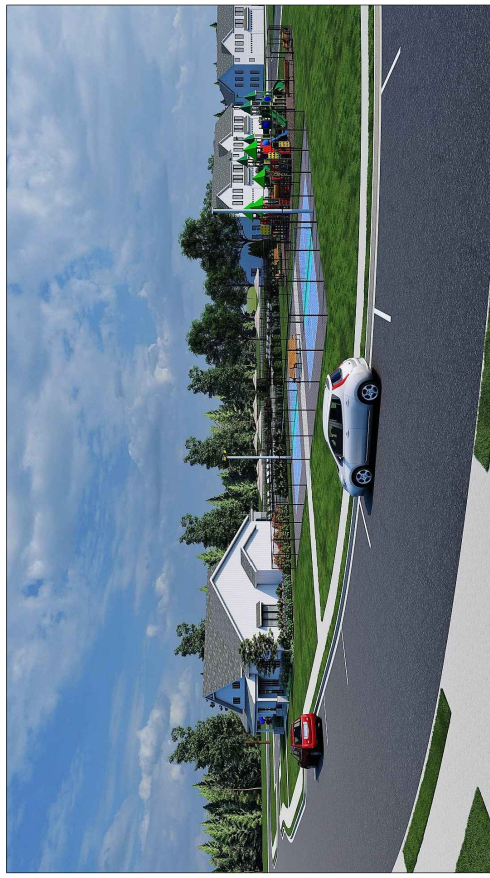
VIEW F



VIEW H



VIEW E



VIEW G

SEAL

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REVISIONS	
#	DATE

PROJECT TITLE  
**NEWMAN COURT**  
LAND LOTS 58 & 59  
5TH DISTRICT  
NEWMAN, GA

PREPARED FOR:  
**MILL CREEK**  
RESIDENTIAL  
3715 NORTHSIDE PKWY  
SUITE 100  
ATLANTA, GA 30327  
404.823.7272

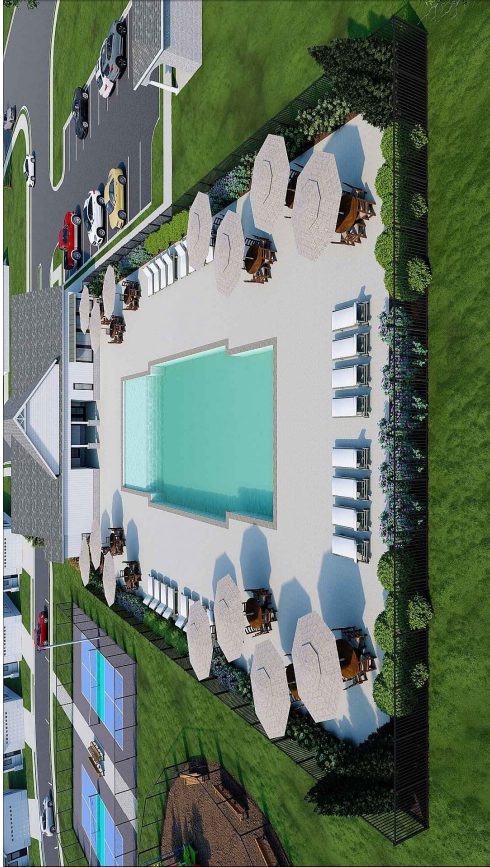
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RENDERINGS**

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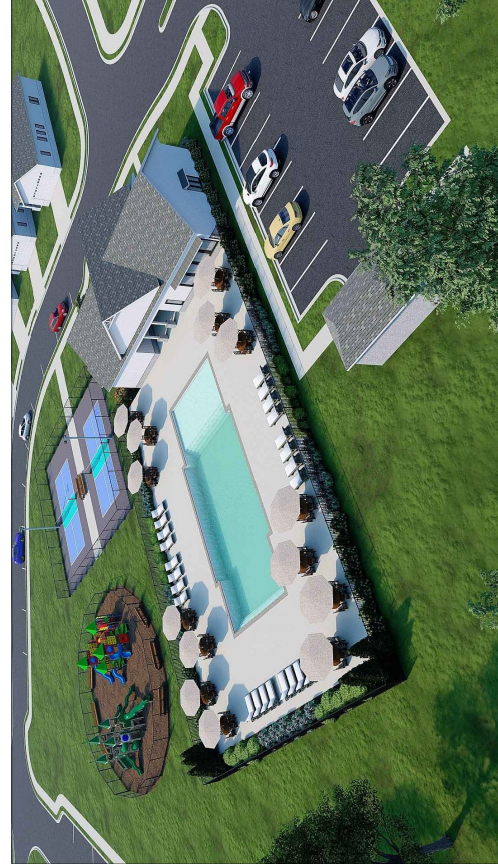
DATE  
**NOVEMBER 30, 2022**

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<input type="checkbox"/>	BID SET
<input type="checkbox"/>	CONSTRUCTION

SHEET NUMBER  
**R1.3**



VIEW J



VIEW K



VIEW I



P.O. BOX 787490  
 ROSWELL, GA 30076  
 WWW.SEARSLANDSCAPE.COM

SEAL

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REVISIONS	
#	REVISION

**PROJECT TITLE**  
 NEWMAN COURT  
 LAND LOTS 58 & 59  
 5TH DISTRICT  
 NEWMAN, GA

PREPARED FOR:  
**MILLCREEK**  
 3715 NORTHSIDE PKWY  
 BLDG 200 SUITE 400  
 ATLANTA, GA 30327  
 404.823.7272

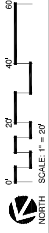
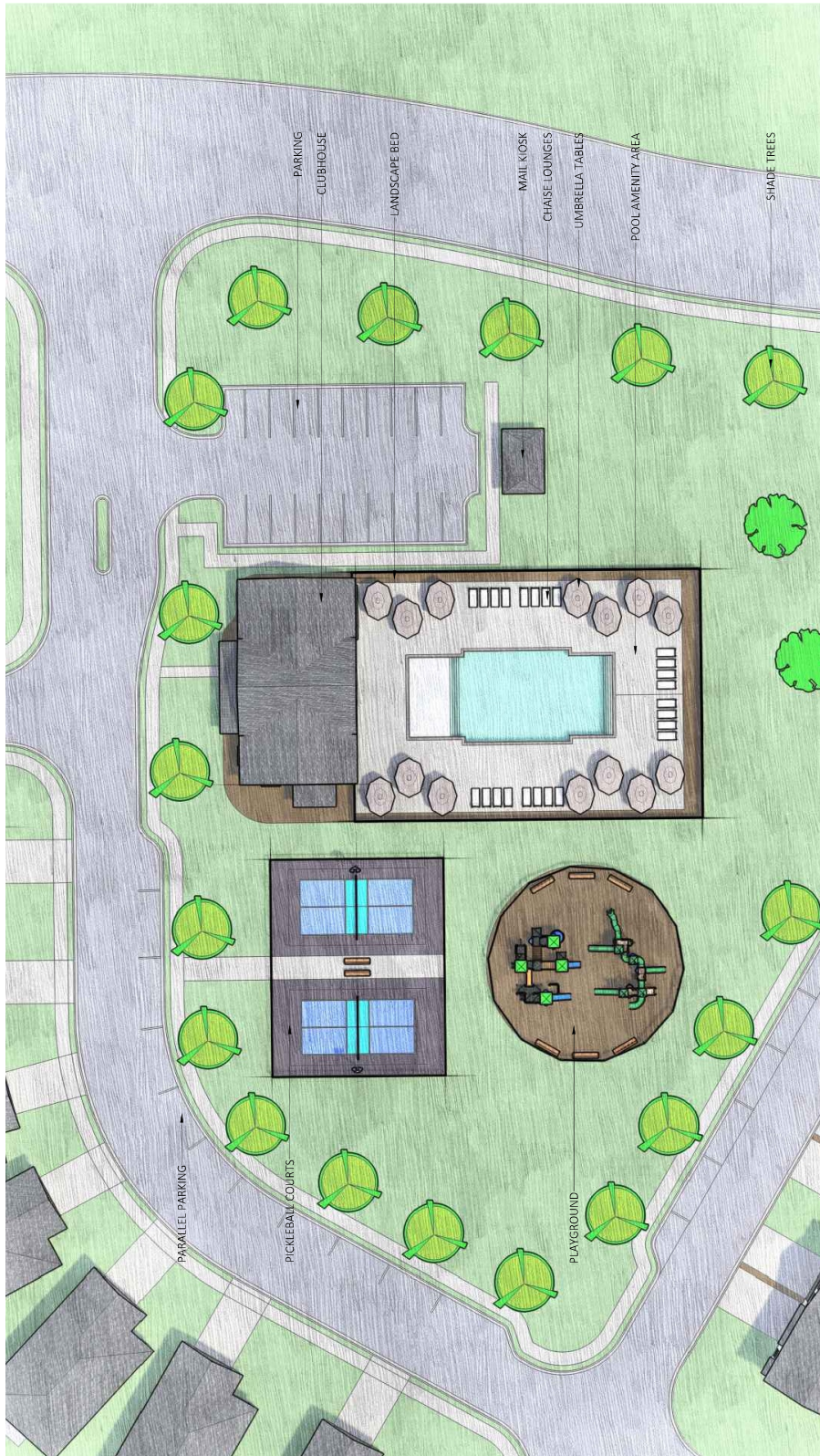
**SHEET TITLE**  
 CONCEPTUAL  
 AMENITY SITE PLAN

DRAWN: MSD  
 CHECKED: CCS

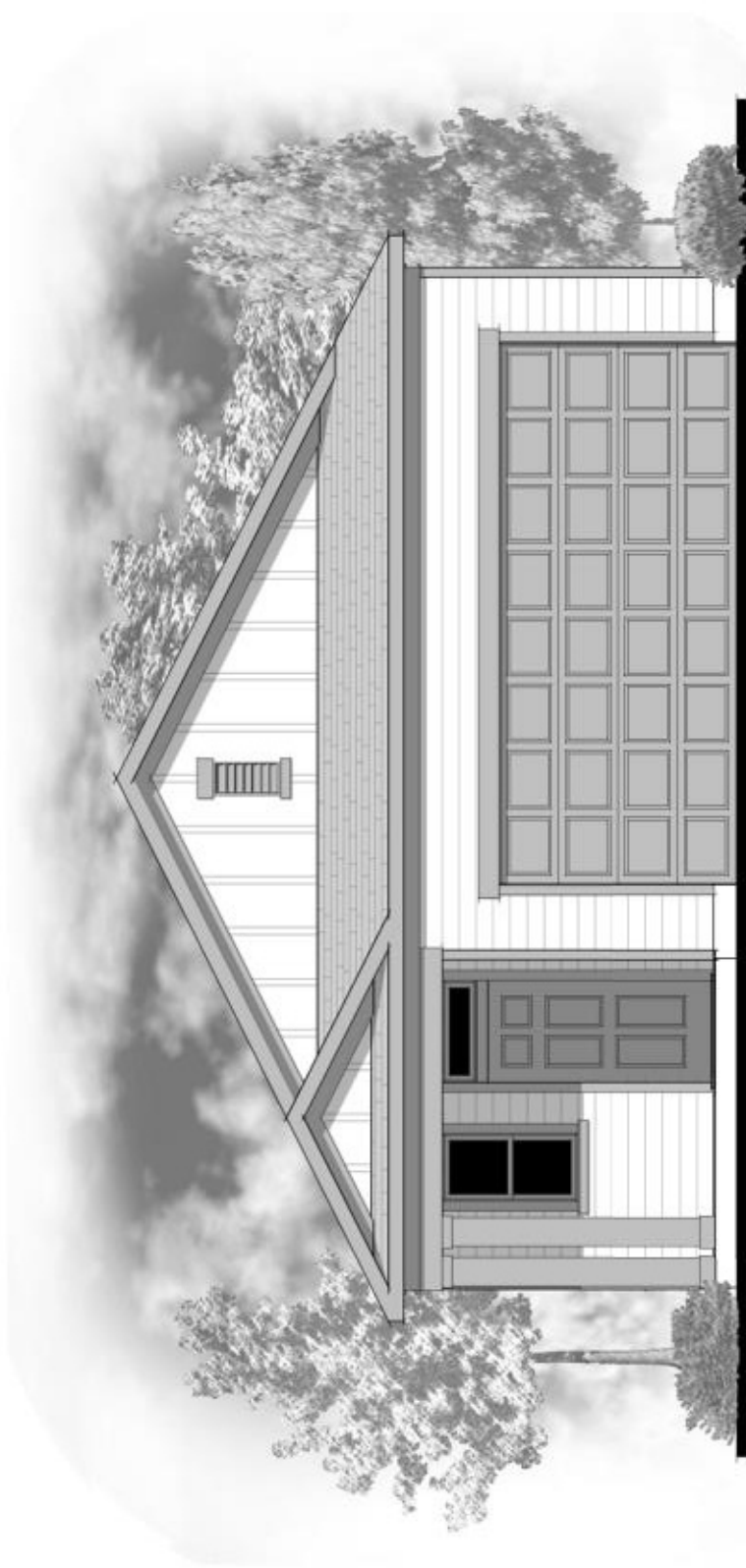
**DATE**  
 NOVEMBER 30, 2022

CLIENT REVIEW  
 FOR PERMIT / REVIEW  
 BID SET  
 CONSTRUCTION

**SHEET NUMBER**  
 R1.4

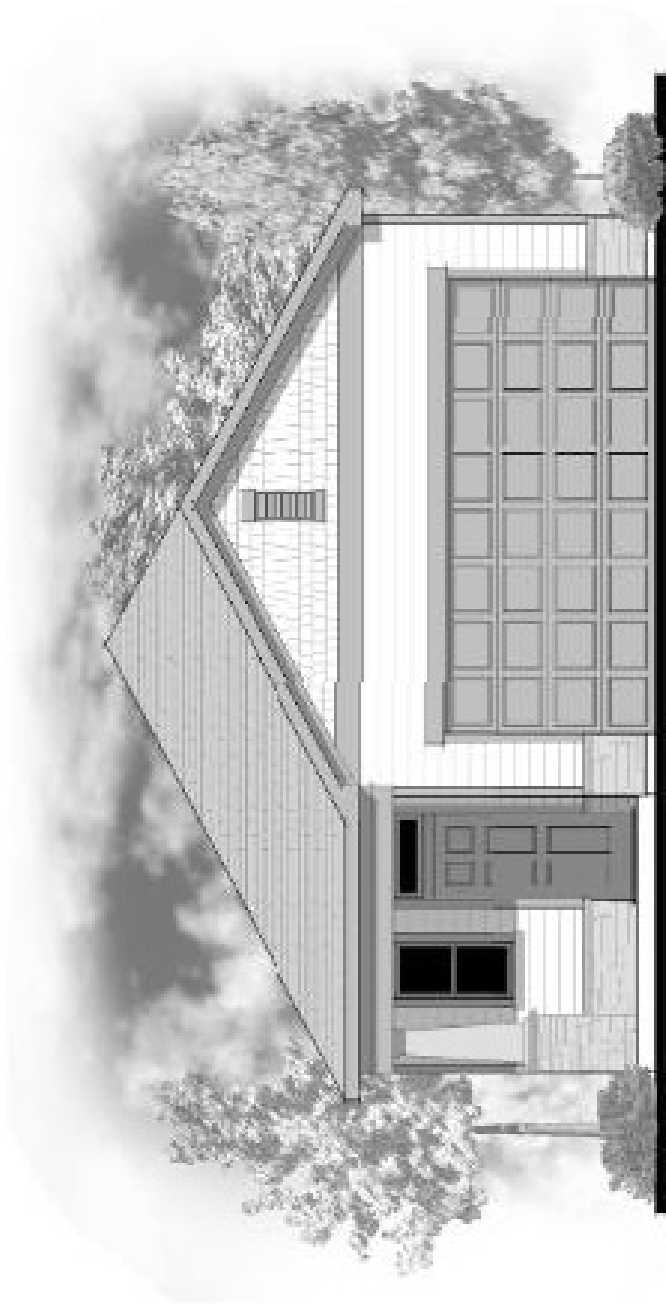






**ELEVATION 'A' 2-CAR**

$3/16" = 1'-0"$

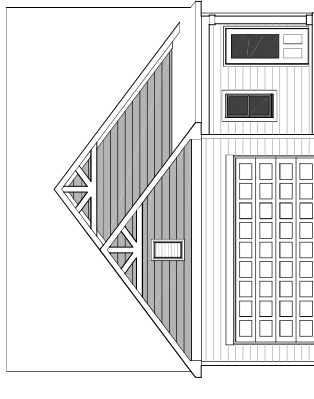


ELEVATION 'B' 2-CAR

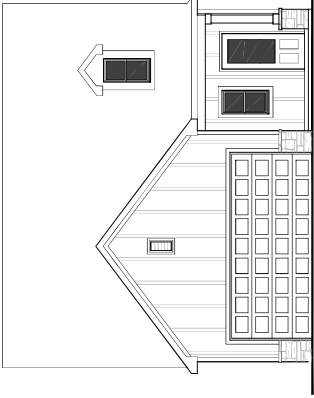
3/16" = 1'-0"

30' DETACHED PRODUCT PLANS

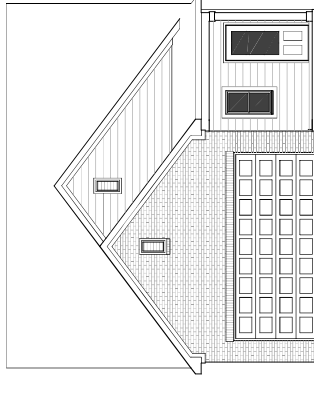
# MCD\_1140



ELEVATION A



ELEVATION B



ELEVATION C

DESIGN CRITERIA  
FLOOR LIVE LOAD: 20 psf  
ROOF LIVE LOAD: 20 psf (INCLUDES DECKS, PATIOS AND PORCHES)  
BASIC WIND VELOCITY: 15 mph  
REGULATORY: IBC 2020

GOVERNING CODES AND STANDARDS

International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)

International Residential Code, 2018 Edition, with Georgia Amendments (2020)

International Fire Code, 2018 Edition, with (No Georgia Amendments) (2020)

International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)

International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)

International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)

National Electrical Code, 2020 Edition (No Georgia Amendments)

GENERAL NOTES

- SEE SITE DRAWINGS FOR LOCATION, ELEVATION, AND ORIENTATION OF THIS STRUCTURE. A MINIMUM SAFE SOIL BEARING CAPACITY OF 2500psf, BEARING CAPACITY OF SOILS SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO ANY FILL WITHIN 10 FEET OF THE STRUCTURE OR BENEATH THEREOF.
- FOUNDATIONS SHALL BE DESIGNED AND PLACED TO BE MONITORED BY A QUALIFIED GEOTECHNICAL ENGINEER. FOUNDATION SHALL BE MONITORED PRIOR TO CONSTRUCTION.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (AT 28 DAYS) OF 3000 PSI. GEMENT SHALL BE TYPE I, AGGREGATES SHALL BE CLEAN AND WASHABLE. ALL CONCRETE FOR USE IN THESE STRUCTURES SHALL BE TESTED FOR COMPRESSIVE STRENGTH IN ACCORDANCE WITH ASTM C39/C31. RESULTS OF COMPRESSIVE STRENGTH TESTING SHALL BE AVAILABLE AT THE TIME OF CONSTRUCTION.
- CONSTRUCTION OR CONTROL JOINTS IN SLAB ON GRADE MAY BE CUT DURING INITIAL CURING PERIOD, OR MAY BE FORMED USING EXPOSED FORMWORK. CURING PERIOD SHALL BE 7 DAYS. SLAB DEPTH SHALL NOT BE LESS THAN 300 OF SLAB DEPTH.
- MORTAR FOR BRICK VENEER SHALL BE TYPE S.
- REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A603, AND ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. ALL WELDED WIRE FABRIC EDGES OR FOR GRADE BEAMS SHALL HAVE MINIMUM 2" COVER TO BOTTOM AND SIDES OF FOOTINGS.
- MINIMUM OVERLAP OF BEAMS SHALL BE 4 TIMES THE WIDTH OF BEAM OR BETTER.
- OVERLAP OF BEAMS SHALL BE 4 TIMES THE WIDTH OF BEAM OR BETTER.
- REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A603, AND ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. ALL WELDED WIRE FABRIC EDGES OR FOR GRADE BEAMS SHALL HAVE MINIMUM 2" COVER TO BOTTOM AND SIDES OF FOOTINGS.
- MINIMUM OVERLAP OF BEAMS SHALL BE 4 TIMES THE WIDTH OF BEAM OR BETTER.
- WOOD FOR NON-BEARING PARTITIONS, PLATES, AND BLOCKING SHALL BE HEAVY DUTY SPRUCE PINE OR BETTER SOUTHERN PINE OR BETTER.
- WOOD FOR HEADERS AND CHANGERS SHALL BE No. 2 SOUTHERN PINE OR BETTER.
- WOOD FOR ENGINEERED WOOD TRUSSES SHALL BE No. 2 SOUTHERN PINE OR BETTER.
- WOOD TRUSSES SHALL BE DESIGNED, FABRICATED, AND INSTALLED IN ACCORDANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS FOR DESIGN, MANUFACTURE, DELIVERY AND HANDLING. ALL WOOD TRUSSES SHALL BE STAMPED BY A LICENSED ENGINEER IN THE STATE OF GEORGIA. TRUSS SHOP DRAWINGS APPROVED BY THE SUPPLIER SHALL BE DETAIL, FABRICATED AND DELIVERED UNDER THE SUPERVISION AND SEAL OF A PROFESSIONAL ENGINEER.
- UNFINISHED ENGINEERED WOOD TRUSSES SHALL HAVE A MINIMUM BENDING MOMENT RESISTANCE OF 1,800,000 in-lb AND A MINIMUM ALLOWABLE BENDING MOMENT RESISTANCE OF 1,800,000 in-lb.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY, INCLUDING BRACING AND SHORING THE STRUCTURE UNTIL THE ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
- BUILDING SHEATHING SHALL BE 7/16" THICK APA RATED SHEATHING TO BE APPLIED TO ALL EXTERIOR WALLS. FASTENING SCHEDULE FOR ATTACHMENT OF SHEATHING SHALL CONFORM TO ASTM A842.
- REINFORCING STEEL FOR CONCRETE SHALL CONFORM TO ASTM A603. REINFORCING STEEL SHALL BE WELDED WIRE FABRIC. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. CONTRACTOR MAY SUBSTITUTE FIBERGLASS REINFORCING STEEL FOR WELDED WIRE FABRIC CONCRETE REINFORCING STEEL SHALL HAVE AT LEAST ONE CRESPELLER CONCRETE REINFORCING STUDS SHALL BE No. 2 BRUCE PINE OR BETTER.

PLAN INDEX

PAGE#	PAGE NAME
CS	COVER SHEET
A.2.0	FRONT ELEVATION A&B; ROOF PLAN
A.2.1	FRONT ELEVATION C&D; ROOF PLAN
A.2.2	FRONT ELEVATION E; ROOF PLAN
A.2.3	RIGHT SIDE ELEVATION
A.2.4	LEFT SIDE ELEVATION
A.2.5	REAR ELEVATION
A.2.6	ELEVATION OPTIONS
A.3.0	SLAB FOUNDATION PLAN
A.3.1	BASEMENT FOUNDATION PLAN
A.4.0	1ST FLOOR PLAN AND OPTIONS
A.5.0	2ND FLOOR PLAN AND OPTIONS
E.0.0	BASEMENT ELECTRICAL PLAN
E.1.0	1ST FLOOR ELECTRICAL PLAN
E.2.0	2ND FLOOR ELECTRICAL PLAN

PROJECT DESCRIPTION:  
TYPE OF CONSTRUCTION:  
WOOD CONSTRUCTION -  
NON-SPRINKLERED,  
OCCUPANCY CLASSIFICATION:  
SINGLE FAMILY HOME DETACHED

AREA	AREA	AREA
1ST FLOOR HEATED	885 SF	
2ND FLOOR HEATED	265 SF	
TOTAL HEATED 1ST AND 2ND FLOOR	1,150 SF	
GARAGE	600 SF	

SEAL:

REVISION CHANGES	REV. NO.	REV. DATE

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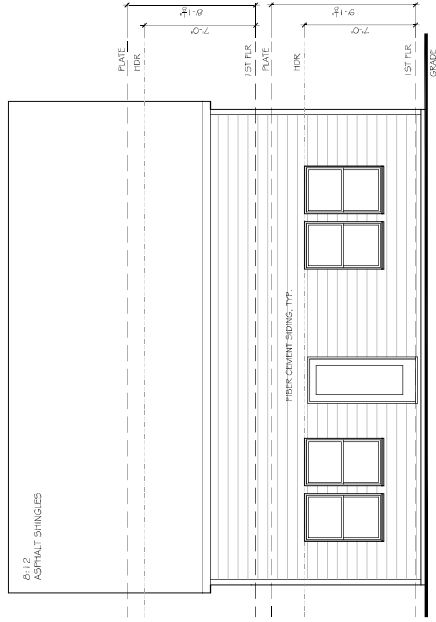
**SUBMISSION COLLECTION**

START DATE: 11/08/2022  
 DRAWN BY: M.HART  
 SCALE:  
 SHEET NO:

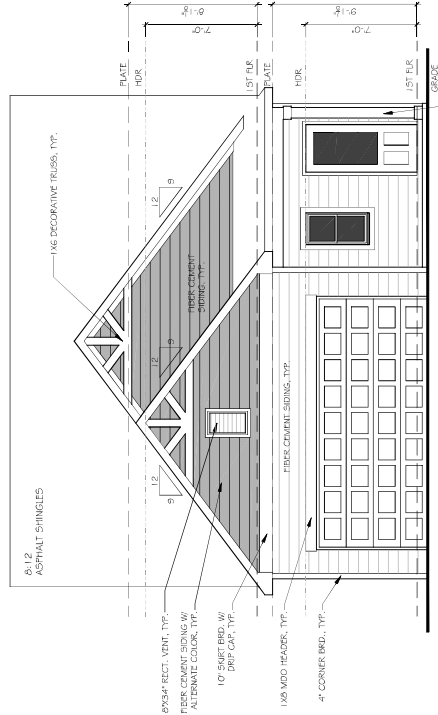
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OF

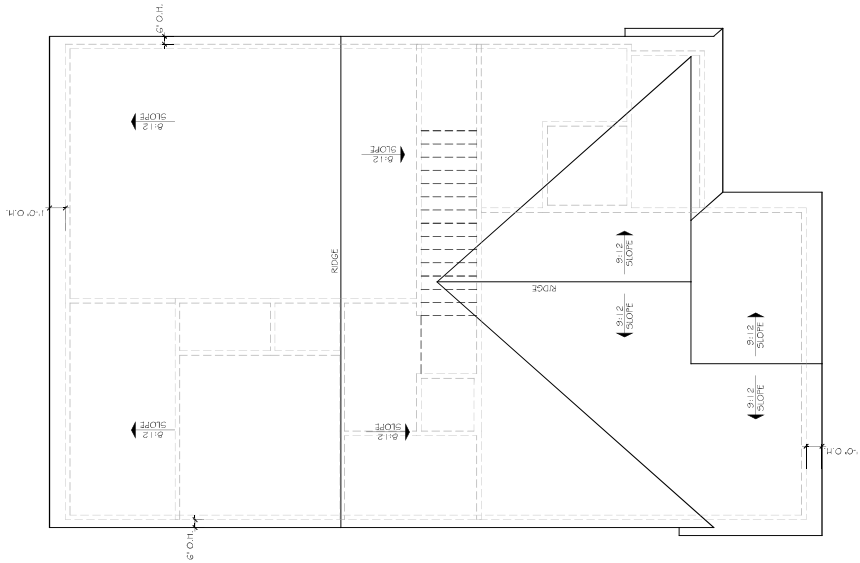
- REVISIONS:**
1. CORRECTED WINDOW SIZES
  2. CORRECTED WINDOW SIZES
  3. CORRECTED WINDOW SIZES
  4. CORRECTED WINDOW SIZES
  5. CORRECTED WINDOW SIZES
  6. CORRECTED WINDOW SIZES
  7. CORRECTED WINDOW SIZES
  8. CORRECTED WINDOW SIZES
  9. CORRECTED WINDOW SIZES
  10. CORRECTED WINDOW SIZES
  11. CORRECTED WINDOW SIZES
  12. CORRECTED WINDOW SIZES



2 REAR ELEVATION  
 SCALE: 1/8" = 1'-0" (1/4" = 1'-0" PER 1/4" SHEET SIZE)



1 FRONT ELEVATION A  
 SCALE: 1/8" = 1'-0" (1/4" = 1'-0" PER 1/4" SHEET SIZE)



3 ROOF PLAN (REV. A)  
 SCALE: 1/8" = 1'-0" (1/4" = 1'-0" PER 1/4" SHEET SIZE)

- REVISIONS:**
1. CHECK SCALE PARADIGM.
  2. CORRECT THE PARADIGM TO REFLECT THE PROJECT'S SCOPE AND MATERIALS.
  3. VERIFY ALL DIMENSIONS AND MATERIALS.
  4. VERIFY ALL MATERIALS ARE AVAILABLE.
  5. ALL NOT CONTAINED TO BE AT THE DESIGNER'S DISCRETION.

SEAL:

REVISION CHANGES:

REV. NO.	REV. DATE

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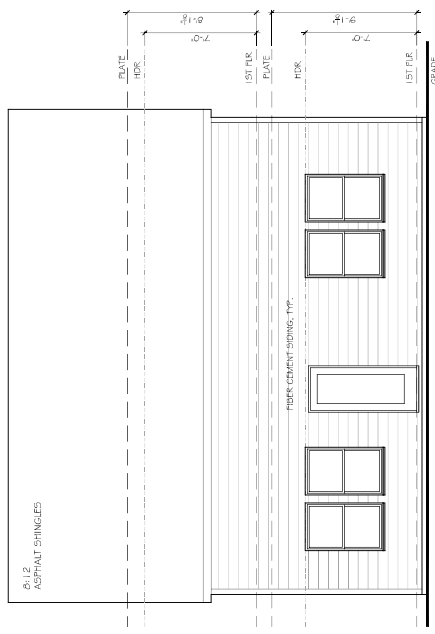
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START DATE: 11/08/2022

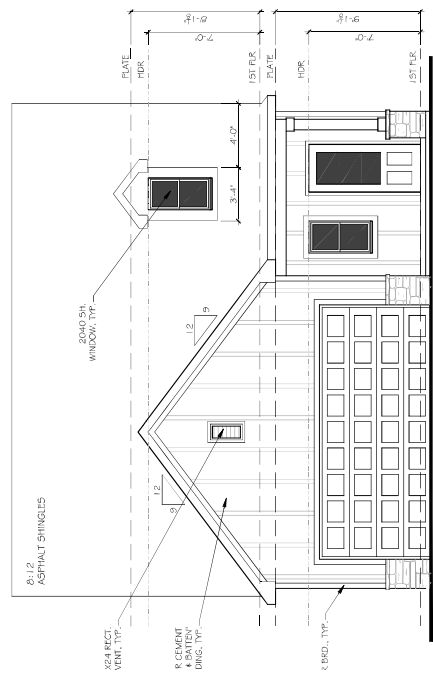
DRAWN BY: M.H.B.T.

SCALE:

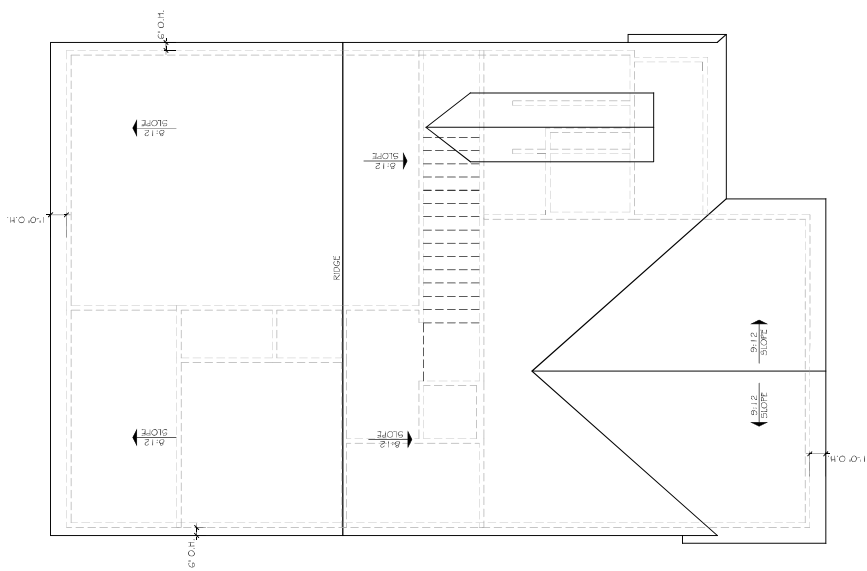
SHEET NO.:



2 REAR ELEVATION  
SCALE: 1/8" = 1'-0" (1/4" = 1'-0" DESIGN SHEET SIZE)



1 FRONT ELEVATION B  
SCALE: 1/8" = 1'-0" (1/4" = 1'-0" DESIGN SHEET SIZE)



3 ROOF PLAN (ELEV. B)  
SCALE: 1/8" = 1'-0" (1/4" = 1'-0" DESIGN SHEET SIZE)

MCD\_1140  
 FRONT ELEVATION & ROOF PLAN

SEAL

REVISION CHANGES:

REV. NO.	REV. DATE

DISCLAIMER:  
 THE SOLE PROVIDED PERSON  
 THE SOLE PROVIDED PERSON  
 HARTWIN GROUP, INC. AND MAY  
 BE USED FOR ANY OTHER PROJECT  
 WITHOUT THE EXPRESSED  
 WRITTEN PERMISSION OF THE  
 HARTWIN GROUP, INC.

CAUTION: ONLY A QUALIFIED  
 CONTRACTOR OR STRUCTURAL  
 ENGINEER SHOULD BE REFERRED  
 TO MODIFY THIS PLAN.

SUBMISSION COLLECTION:

START DATE:

11/09/2022

DRAWN BY: JPH/ART

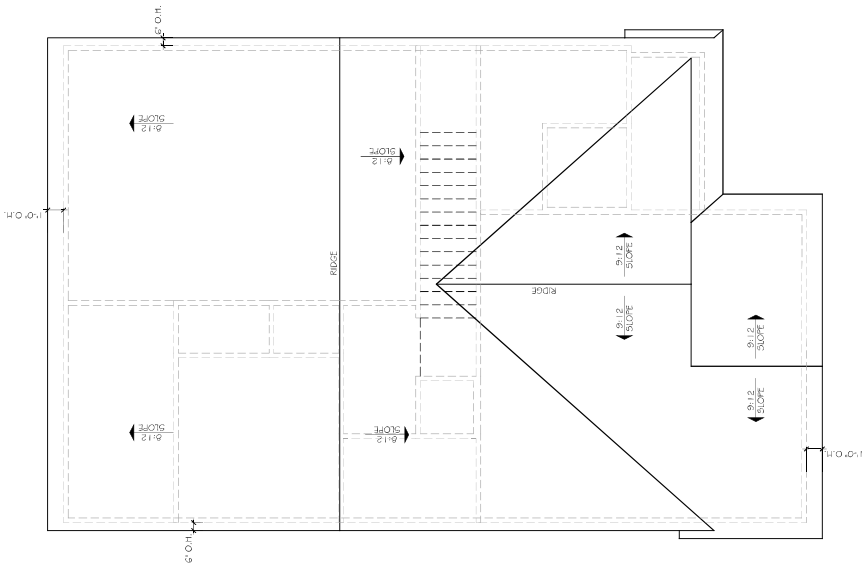
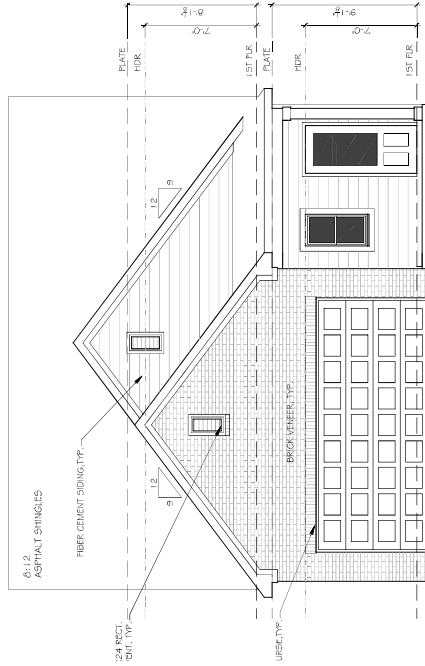
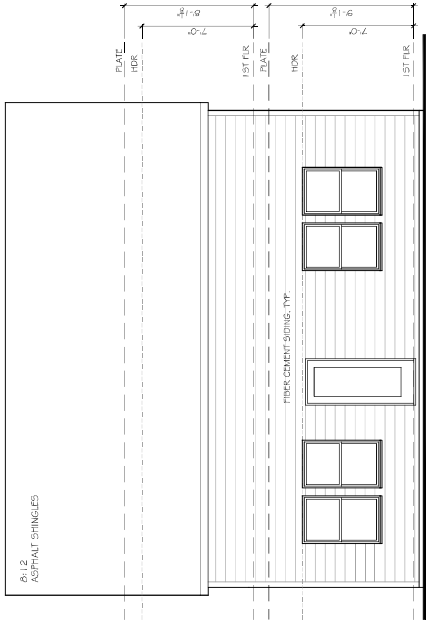
SCALE:

SHEET NO.

A.2.2

05

- REVISIONS:
1. REVISED PER COMMENTS
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  3. CORRECTED WINDOW SIZES
  4. CORRECTED WINDOW SIZES
  5. CORRECTED WINDOW SIZES
  6. CORRECTED WINDOW SIZES
  7. CORRECTED WINDOW SIZES
  8. CORRECTED WINDOW SIZES
  9. CORRECTED WINDOW SIZES
  10. CORRECTED WINDOW SIZES



MCD\_1140  
 RIGHT SIDE ELEVATION

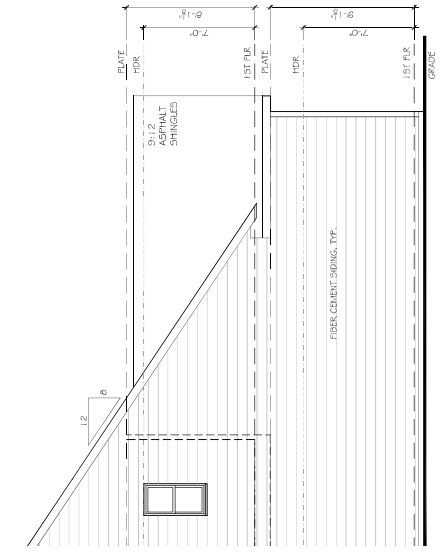
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REVISION CHANGES:	REV. NO.	REV. DATE

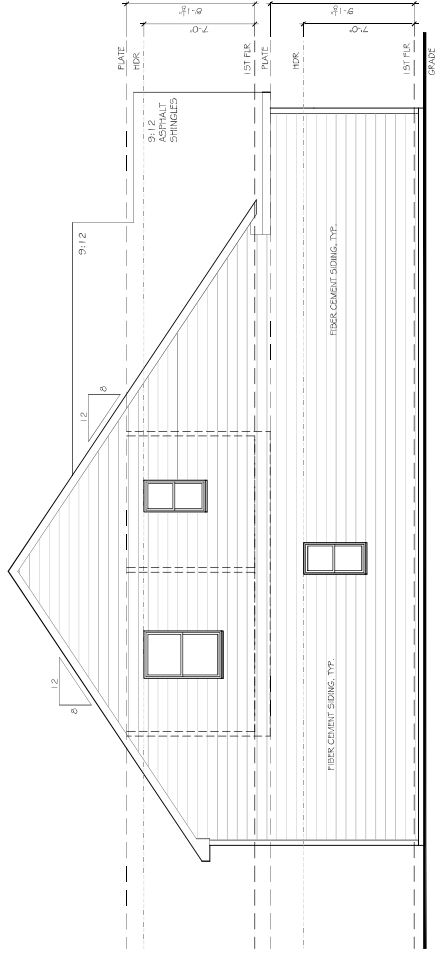
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SUBMISSION COLLECTION  
 START DATE: 10/26/2022  
 DRAWN BY: M/HAET  
 SCALE:  
 SHEET NO.:

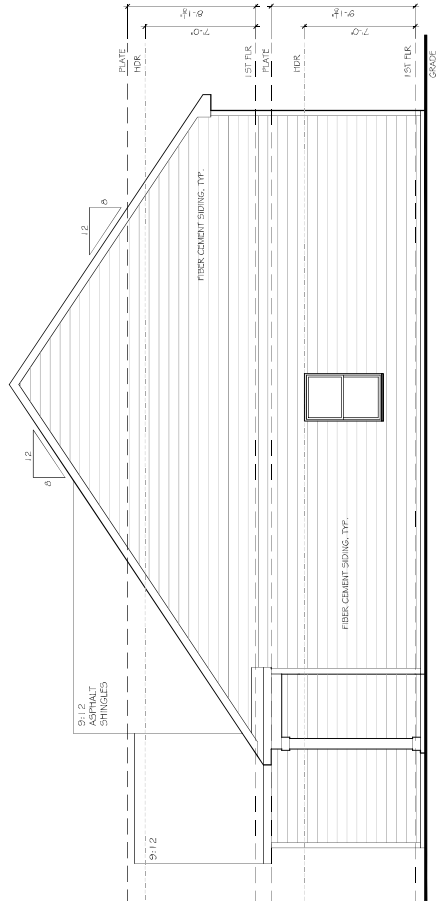
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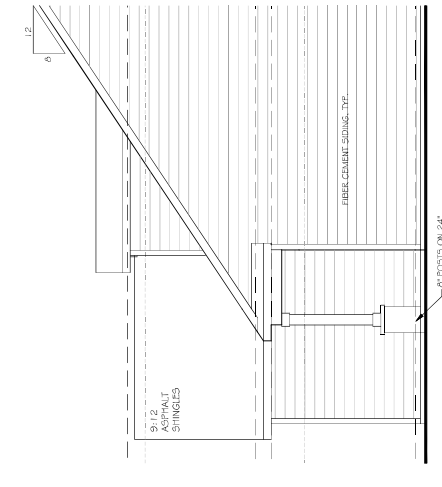
4 LEFT ELEVATION B  
 SCALE: 1/8" = 1'-0" (1/4" = 1'-0" GRADE SHEET SIZE)  
 SCALE: 1/4" = 1'-0" (3/8" = 1'-0" SHEET SIZE)



3 LEFT ELEVATION A  
 SCALE: 1/8" = 1'-0" (1/4" = 1'-0" SHEET SIZE)  
 SCALE: 1/4" = 1'-0" (3/8" = 1'-0" SHEET SIZE)



1 RIGHT ELEVATION A+C  
 SCALE: 1/8" = 1'-0" (1/4" = 1'-0" SHEET SIZE)  
 SCALE: 1/4" = 1'-0" (3/8" = 1'-0" SHEET SIZE)

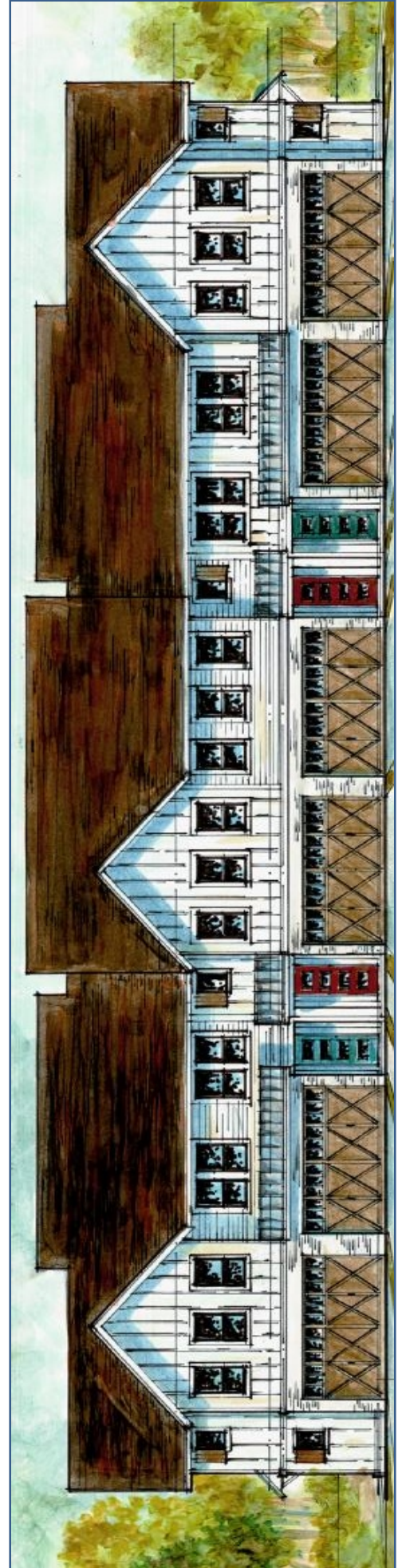


2 RIGHT ELEVATION B  
 6" POSTS ON 24" MASSCONCRETE BASE, TYP.  
 SCALE: 1/8" = 1'-0" (1/4" = 1'-0" SHEET SIZE)  
 SCALE: 1/4" = 1'-0" (3/8" = 1'-0" SHEET SIZE)

REVISIONS:  
 1. DO NOT SCALE FROM DRAWING.  
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.  
 3. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.  
 4. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.  
 5. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.  
 6. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.  
 7. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.

**Width: 25'**  
**Depth: 55'**  
**Stories: 2**  
**Heated SF: 1,599 – 1,701**  
**Beds: 2-3**  
**Baths: 2.5**  
**Garage: 2 Car**

**25' TOWNHOME RENDERING**





25 foot product plans

**BRIGHTON**  
 ELEVATIONS AND ROOF PLAN

SEAL

REVISION CHANGES	REV. NO.	REV. DATE

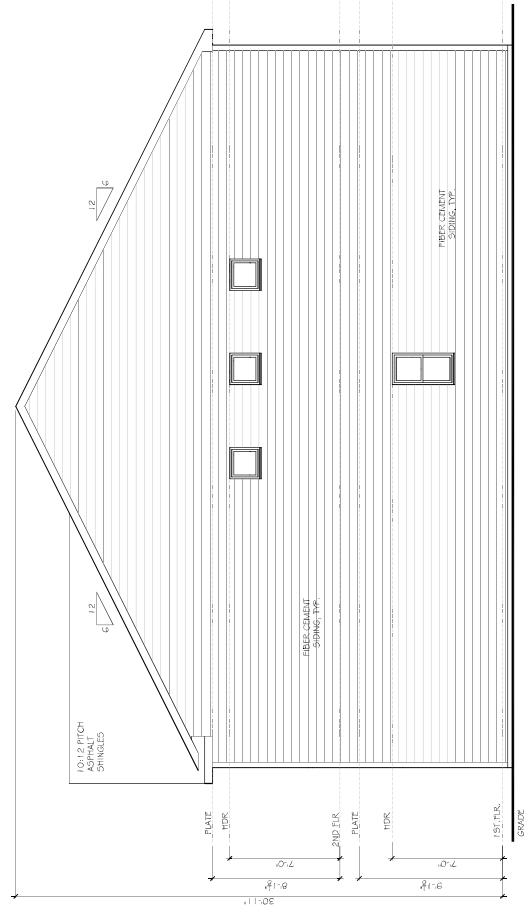
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 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS WITH THE SUPPLIER. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS WITH THE SUPPLIER.  
 SUBMISSION COLLECTION

START DATE: 11/21/2022  
 DRAWN BY: M.HART  
 SCALE:  
 SHEET NO.

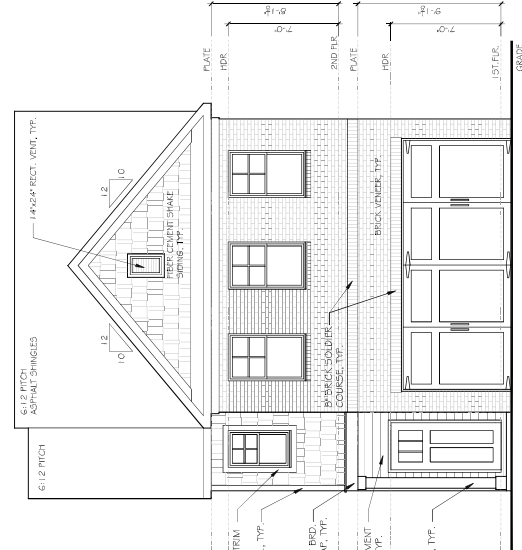
**A-02**  
 OF



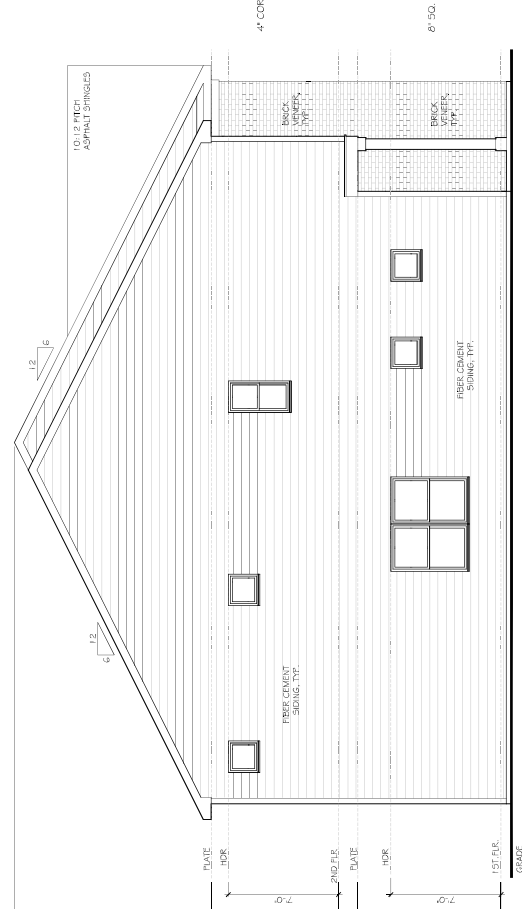
2 REAR ELEVATION  
 SCALE: 1/8" = 1'-0" (VERTICAL)  
 SCALE: 1/4" = 1'-0" (HORIZONTAL)



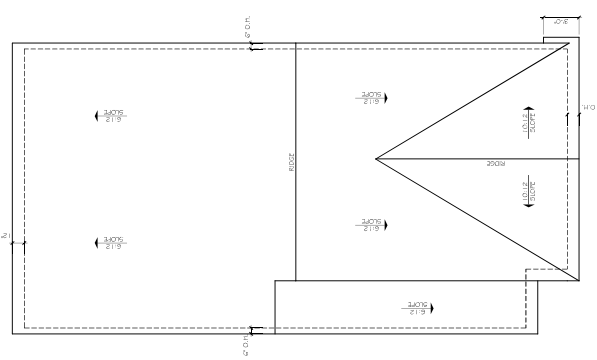
4 RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0" (VERTICAL)  
 SCALE: 1/4" = 1'-0" (HORIZONTAL)



1 FRONT ELEVATION A  
 SCALE: 1/8" = 1'-0" (VERTICAL)  
 SCALE: 1/4" = 1'-0" (HORIZONTAL)



3 LEFT ELEVATION  
 SCALE: 1/8" = 1'-0" (VERTICAL)  
 SCALE: 1/4" = 1'-0" (HORIZONTAL)



5 ROOF PLAN  
 SCALE: 1/4" = 1'-0" (VERTICAL)  
 SCALE: 1/4" = 1'-0" (HORIZONTAL)

- GENERAL NOTES:**
- DO NOT SCALE DIMENSIONS
  - CONTRACTOR TO VERIFY ALL DIMENSIONS WITH THE SUPPLIER
  - CONTRACTOR TO VERIFY ALL DIMENSIONS WITH THE SUPPLIER
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  - CONTRACTOR TO VERIFY ALL DIMENSIONS WITH THE SUPPLIER





HORNE & GRIFFIS, P.C.  
32 South Court Square, P.O. Box 220  
Newnan, Georgia 30264  
[www.newnanlaw.com](http://www.newnanlaw.com)

MELISSA D. GRIFFIS (GA, AL)

Telephone (770) 253-3282  
Fax (770) 251-7262  
Email: [melissa@newnanlaw.com](mailto:melissa@newnanlaw.com)

December 2, 2022

**VIA EMAIL ONLY**

Mr. Dean Smith, Senior Planner  
The City of Newnan  
25 LaGrange Street  
Newnan, Georgia 30263

**RE: Application of Mill Creek Residential to Amend the Zoning Ordinance from OI-1 to PDR  
Approximately 34.497± Acres located at 90 Hospital Road, Newnan, Georgia**

Dear Dean:

The Applicant is in receipt of your email correspondence dated October 12, 2022 with ten (10) numbered questions/comments. I will attempt to respond to each item per your original numbering as follows:

1. This project will be a build to rent project.
2. Mill Creek Residential will maintain ownership.
3. The streets will be private.
4. The community will be gated.
5. The projected rent rates for the townhomes is \$2,355.00-\$2,455.00 per month. The projected rent rates for the single family homes if \$2,070.00 per month.
6. The Applicant has attached the four sides elevations as requested.
7. The Applicant has attached the digital elevations for the townhomes as requested.
8. The Application has attached the renderings for the amenity package.

Mr. Dean Smith, Senior Planner  
December 2, 2022  
Page 2

---

9. The Applicant is working on providing renderings for a visual aid of the view from Hospital Road. Unfortunately, the Applicant does not have the ability to create a drone video since this development of the old Newnan Hospital property is unique from any other they have done.

10. The Applicant believes this is attached in the rendering that is attached.

The Applicant previously sent the updated Community Impact Study with the response of the Coweta County School System

If you should have any questions, or need to discuss this matter further, please do not hesitate to contact me.

Yours Truly,



Melissa D. Griffis

MDG/kr

cc: Mr. Jason Wadsworth  
Mr. Michael Canady

# A AMAVI

BY MILL CREEK



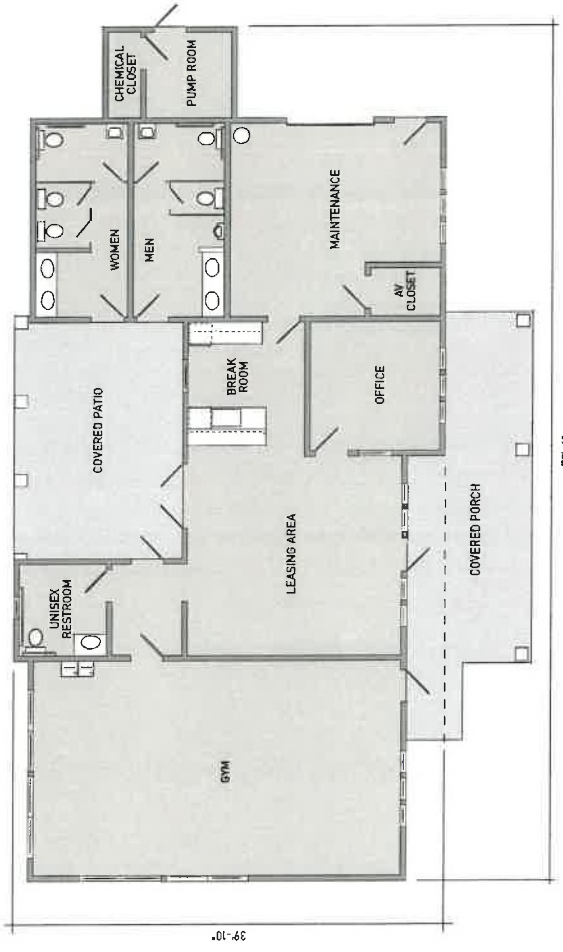
FRONT ELEVATION



REAR ELEVATION

## AMENITY BUILDING

BUILDING SF	2,403'
FRONT PORCH SF	367'
REAR PATIO SF	348'
BUILDING HEIGHT	29'







SCALE: \_\_\_\_\_

REVISION NUMBER:	REV. NO.	REV. DATE

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**PROJECT DESCRIPTION:**  
 SINGLE FAMILY RESIDENCE

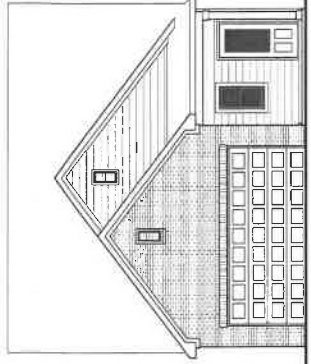
**TYPE OF CONSTRUCTION:**  
 WOOD CONSTRUCTION

**TYPICAL LIGHT-FRAME WOOD CONSTRUCTION:**  
 NON-SPRINKLERED

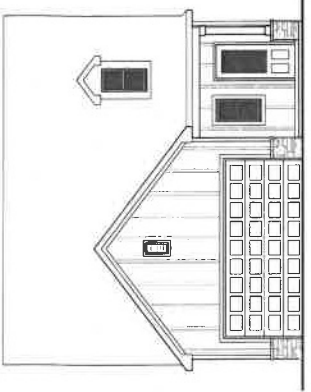
**OCCUPANCY CLASSIFICATION:**  
 SINGLE FAMILY HOME DETACHED

START DATE:	10/09/22
DESIGN BY:	MJH/T
SCALE:	
SHEET NO.:	

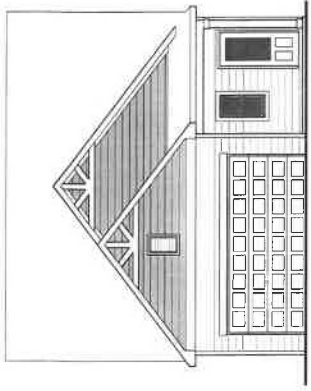
**CS**



ELEVATION A



ELEVATION B



ELEVATION C

**PLAN INDEX**

PAGER	PAGE NAME
CS	COVER SHEET
A.2.0	FRONT ELEVATION A&B: ROOF PLAN
A.2.1	FRONT ELEVATION C&D: ROOF PLAN
A.2.2	FRONT ELEVATION E: ROOF PLAN
A.2.3	RIGHT SIDE ELEVATION
A.2.4	LEFT SIDE ELEVATION
A.2.5	REAR ELEVATION
A.2.6	ELEVATION OPTIONS
A.3.0	SLAB FOUNDATION PLAN
A.3.1	BASEMENT FOUNDATION PLAN
A.4.0	1ST FLOOR PLAN AND OPTIONS
A.5.0	2ND FLOOR PLAN AND OPTIONS
E.0.0	BASEMENT ELECTRICAL PLAN
E.1.0	1ST FLOOR ELECTRICAL PLAN
E.2.0	2ND FLOOR ELECTRICAL PLAN

SQUARE FOOTAGE	RS/PS
1ST FLOOR	4,000 SF
2ND FLOOR	4,000 SF
TOTAL UNFINISHED 2ND FLOOR	4,000 SF
TOTAL FINISHED 2ND FLOOR	4,000 SF
SHADE	

**DESIGN CRITERIA**  
 ROOF LIVE LOAD: 20 psf  
 40 psf (INCLUDES DECK, PATIOS AND PORCHES)

**ROOF FLOOR LOAD:**  
 40 psf (INCLUDES DECK, PATIOS AND PORCHES)

**BASIC WIND VELOCITY:** 115 mph  
**SEISMIC DESIGN CATEGORY:** B  
**Seating with wind-tight frame joints and wood structural panels**

**GOVERNING CODES AND STANDARDS**  
 International Energy Conservation Code, 2015 Edition, with Georgia Amendments (2020)  
 International Fire Code, 2018 Edition, with No Georgia Amendments (2020)  
 International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)  
 International Building Code, 2018 Edition, with Georgia Amendments (2020)  
 International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)  
 International Fire Code, 2018 Edition, with Georgia Amendments (2020)  
 National Electrical Code, 2020 Edition (No Georgia Amendments)

**GENERAL NOTES**

- SEE SITE DRAWINGS FOR LOCATION, ELEVATION, AND ORIENTATION OF THIS STRUCTURE.
- FOUNDATION DESIGN SHALL BE BASED ON A MINIMUM SAFE SOIL BEARING CAPACITY AS DETERMINED BY THE PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION. PROVIDE FOUNDATION DESIGN INFORMATION TO ANY FILL WITHIN 10 FEET OF THE STRUCTURE. ORIGINATE WALLS OR PAVED AREAS SHALL BE COMPACTED TO NOT LESS THAN 3000 PSI. FOUNDATION DESIGN SHALL BE PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER. BRICK Ledges TO BE PLACED ON THE PERIMETER OF THE FOUNDATION SHALL BE ADVISORIED BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT. LEDGES SHALL BE NOT LESS THAN 3" WIDE. CEMENT SHALL BE TYPE 1. AGGREGATE SHALL BE 3/4" MAXIMUM SIZE. ALL CONCRETE SHALL BE PERMANENTLY CURABLE. CURING SHALL BE IN ACCORDANCE WITH THE PRACTICE OF THE AMERICAN CONCRETE INSTITUTE. RESULT OF COMPRESSIVE STRENGTH TESTING SHALL BE AVAILABLE AT THE TIME OF CONSTRUCTION OR CONTROL Joints IN SLAB ON GRADE MAY BE CUT DURING INITIAL CURING PERIOD OR MAY BE FORMED USING EXTERNAL CURING CURING MEDIA. CURING MEDIA SHALL EXTEND NOT LESS THAN 50% OF SLAB DEPTH. TO ASTM A473 STEEL BRACKETS AND PLATES SHALL CONFORM TO ASTM A575. STEEL BRACKETS AND PLATES SHALL CONFORM TO ASTM A575. STEEL BRACKETS AND PLATES SHALL CONFORM TO ASTM A575. STEEL BRACKETS AND PLATES SHALL CONFORM TO ASTM A575. STEEL BRACKETS AND PLATES SHALL CONFORM TO ASTM A575.
- MORTAR FOR BRICK VENEER SHALL BE TYPE S. THE BRICK SHALL BE FULL BODY AND SHALL CONFORM TO ASTM A575. BRICK VENEER SHALL BE USED ON EDGES OR ON GRADE AND REINFORCING FOR TIE-DOWN SLAB TO WOOD FLOOR BEARING STUDS SHALL BE NO. 2 EPLUPUCE RME FR. OR BETTER.
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MCD\_1140

**ABBREVIATIONS**

A.B.	ANCHOR BOLT	INSUL.	INSULATION
A/C	AIR COOLING UNIT	INT.	INTERIOR
A.D.	ADJACENT	JST.	JOIST
A.F.F.	AIR HANDLING UNIT	JT.	JOINT
A.H.U.	AIR HANDLING UNIT	KIT.	KITCHEN
ALT.	ALTERNATE	MAX.	MAXIMUM
ALUM.	ALUMINUM	M.E.C.H.	MECHANICAL
APPROX.	APPROXIMATELY	MET.	METAL
ARCH.	ARCHITECTURAL	MIN.	MINIMUM
BRD.	BOARD	MISC.	MISCELLANEOUS
BLDG.	BUILDING	M.D.	MASONRY OPENING
BLK.	BLOCK	M.I.C.	NOT IN CONTRACT
BM	BEAM	N.T.S.	NOT TO SCALE
BTM	BOTTOM	NO. OR #	NUMBER
BRG.	BRASS	O.A.	OVERALL
BRK.	BRICK	O.C.	ON CENTER
B.S.	BOTH SIDES	O.D.	OUTSIDE DIAMETER
B.W.L.	BETWEEN	O.H.	OVERHEAD
CL	CENTER LINE	OPNG.	OPENING
C.L.	CENTROL Joints	OPP.	OPPOSITE
C.L.	CENTROL Joints	PL.	PLATE
C.G.	CEILING	P.L.	POINT
C.I.U.	CONCRETE MASS UNIT	P.S.F.	POUNDS PER SQUARE FOOT
COL.	COLUMN	P.S.I.	POUNDS PER SQUARE INCH
CONE.	CONCRETE	RAD.	RADIUS
CONT.	CONTINUOUS	REF.	REFRIGERATOR
CP.	CAPLINE	REIN.	REINFORCED
CPL.	CENTER LINE	REQ.	REQUIRED
D.F.	DRINKING FOUNTAIN	R.F.	ROOM
D.M.	DOWNCAST	R.O.	ROUGH OPENING
D.M.	DOWNCAST	RSL.	RESIDENT FLOORING
D.M.	DOWNCAST	SECT.	SECTION
D.S.	DOWNSPROUT	SL.	SLEEP
D.V.	DRAINAGE	SL.	SLEEP
EA.	EACH	S.M.	SMELTING
ELEV.	ELEVATION	S.M.	SMAILED
ELEC.	ELECTRIC	S.O.	SHEET ROCK OPENING
EQ.	EQUAL	STD.	STANDARD
EXT.	EXPANSION	STOR.	STORAGE
EXT.	EXTENSION	TBD.	TREAD
F.M.	FOUNDATION	T.O.W.	TOP OF WALL
F.F.	FINISH FLOOR	TYP.	TYPICAL
F.F.	FINISH FLOOR	U.N.O.	UNLESS NOTED OTHERWISE
FTG.	FOOTING	UNF.	UNFINISHED
FUR.	FURRING	VERT.	VERTICAL
FX.	FIXED	W/	WITH
G.A.	GAUGE	W/O	WITHOUT
GALV.	GALVANIZED	W.C.	WATER CLOSET
G.B.	GRAB BAR	W.D.	WOOD
GL.	GLASS	WH	WATER HEATER
GR.	GRADE	W.W.F.	WELDED WIRE FABRIC
GYP.	GYPSONUM	Y.	YIELD
H.B.	HEAD BOARD	Y.	YIELD
HDR.	HEADER	Y.	YIELD
HGT.	HEIGHT	Y.	YIELD



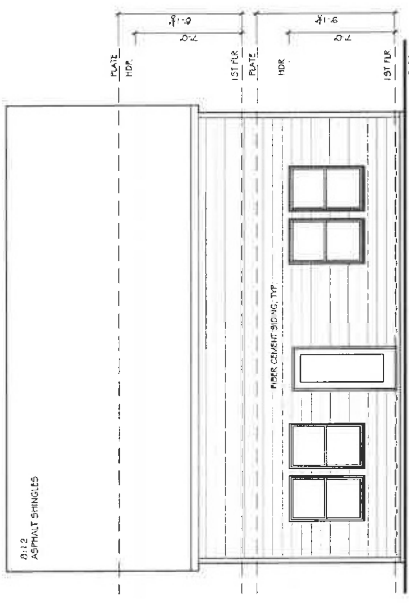
REAR:

REVISION CHANGES:	
REV. NO.	REV. DATE

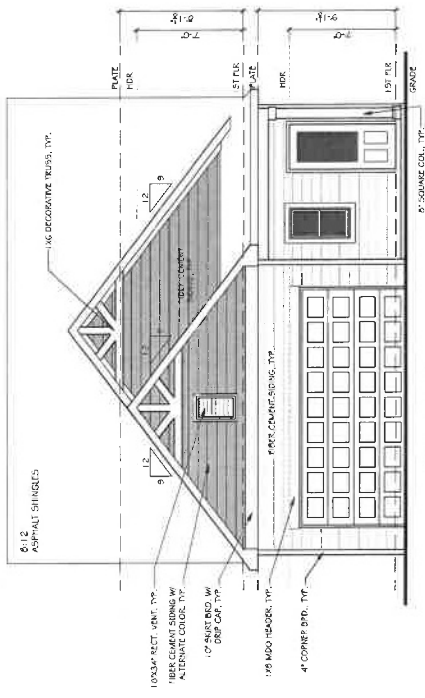
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**DRAWN BY:** JHARRIS  
**SCALE:**  
**SHEET NO.:**

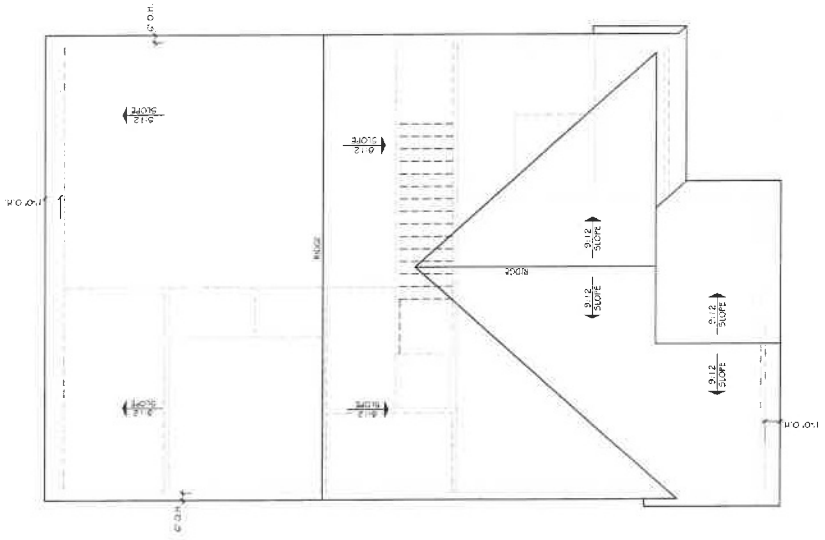
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  - COORDINATES ARE PROVIDED FOR ALL DIMENSIONS
  - ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED
  - ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
  - ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED
  - ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED



1 FRONT ELEVATION A  
 SCALE: 1/8" = 1'-0" (SEE SHEET 1)



2 ROOF PLAN (REV. A)  
 SCALE: 1/8" = 1'-0" (SEE SHEET 1)



3 ROOF PLAN (REV. A)  
 SCALE: 1/8" = 1'-0" (SEE SHEET 1)

MCD\_1140
   
 FRONT ELEVATION & ROOF PLAN

SEAL:

REVISION CHANGES	REV. NO.	REV. DATE

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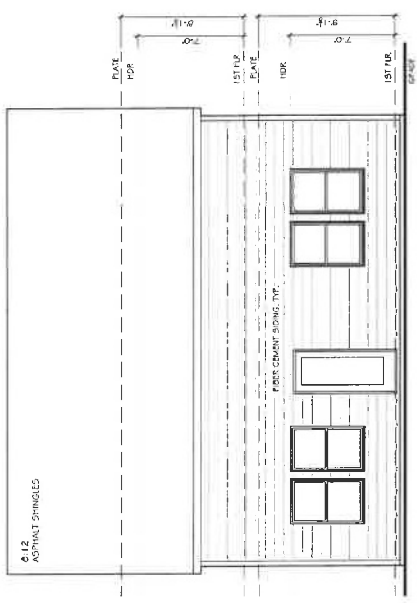
SUBMITTER: SUN COLLECTION

START DATE: 11/09/2022  
 DRAWN BY: MIBSC  
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 SHEET NO.:

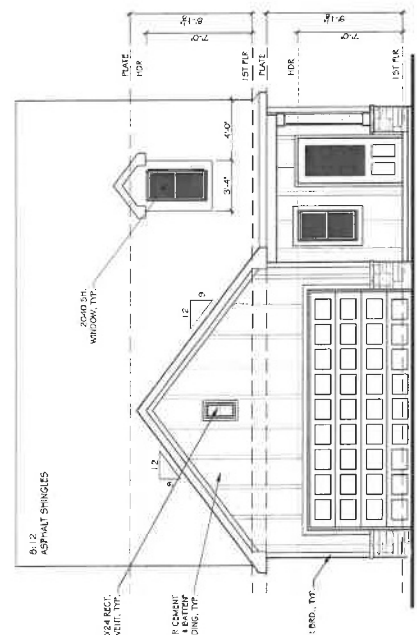
A.2.1

01

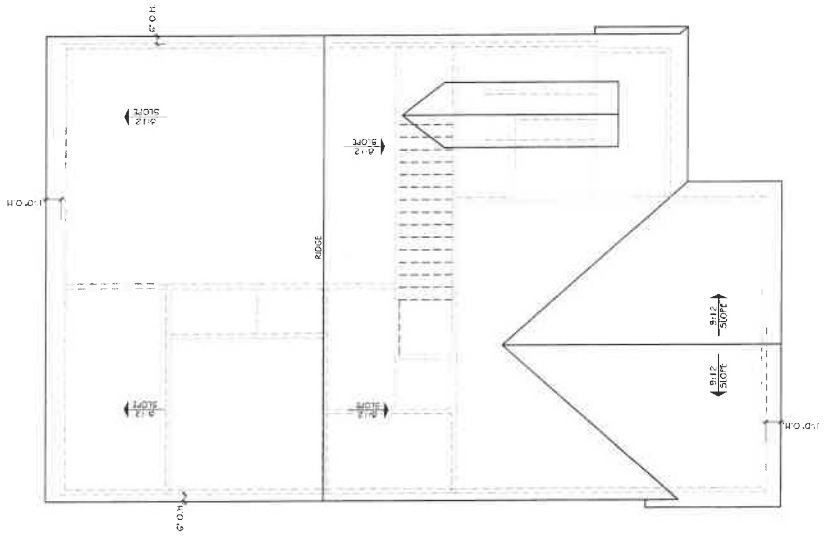
- NOTES:
1. DO NOT SCALE DRAWING
  2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE
  3. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE
  4. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE
  5. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE
  6. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE



2 REAR ELEVATION  
 SCALE: 1/8" = 1'-0" (VERTICAL SECTION)  
 SCALE: 1/8" = 1'-0" (HORIZONTAL SECTION)



1 FRONT ELEVATION  
 SCALE: 1/8" = 1'-0" (VERTICAL SECTION)  
 SCALE: 1/8" = 1'-0" (HORIZONTAL SECTION)



3 ROOF PLAN REF. (R)  
 SCALE: 1/8" = 1'-0" (VERTICAL SECTION)  
 SCALE: 1/8" = 1'-0" (HORIZONTAL SECTION)

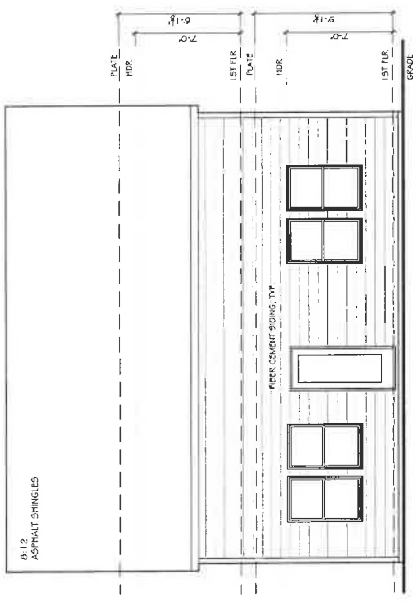
**MCD\_1140**  
**FRONT ELEVATION & ROOF PLAN**

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 REV. NO. | REV. DATE

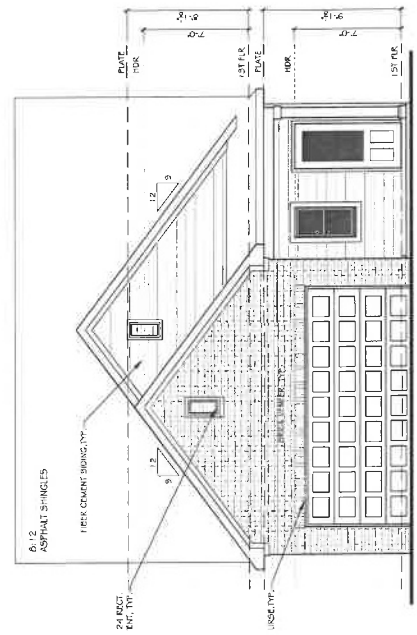
DISCLAIMER:  
 THIS SUPPLEMENTED SPECIFICATION IS NOT TO BE USED IN CONJUNCTION WITH ANY OTHER SPECIFICATION OR CONTRACT DOCUMENTS UNLESS SPECIFICALLY REFERENCED THEREIN.  
 CAUTION: ONLY A QUALIFIED CONTRACTOR SHOULD BE CONSULTED FOR ALL INFORMATION REGARDING THE PROPOSED PROJECT.  
 SUBMISSION COLLECTION  
 START DATE: \_\_\_\_\_  
 DRAWN BY: TORRESZEE  
 MPAJG  
 SCALE:  
 SHEET NO. \_\_\_\_\_

**A.2.2**  
 OF

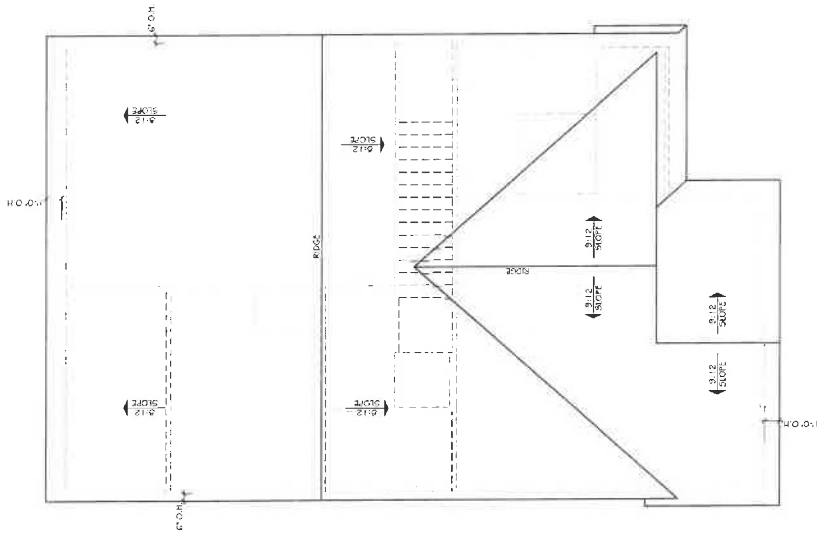
- REVISIONS:**
1. AS PER CHANGE ORDER
  2. CORRECTED WINDOW AND DOOR SIZES
  3. CORRECTED WINDOW AND DOOR SIZES
  4. CORRECTED WINDOW AND DOOR SIZES
  5. CORRECTED WINDOW AND DOOR SIZES
  6. CORRECTED WINDOW AND DOOR SIZES
  7. CORRECTED WINDOW AND DOOR SIZES
  8. CORRECTED WINDOW AND DOOR SIZES
  9. CORRECTED WINDOW AND DOOR SIZES
  10. CORRECTED WINDOW AND DOOR SIZES



2 FRONT ELEVATION  
 SCALE: 1/8" = 1'-0" (AS SHOWN)



1 FRONT ELEVATION C  
 SCALE: 1/8" = 1'-0" (AS SHOWN)



3 ROOF PLAN  
 SCALE: 1/8" = 1'-0" (AS SHOWN)

**MCD 1140**  
**RIGHT SIDE ELEVATION**

SCALE:

REVISION CHANGES:  
 REV. NO. REV. DATE

**DISCLAIMER:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND THE LOCATION OF ALL UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.

START DATE: 11/05/2022

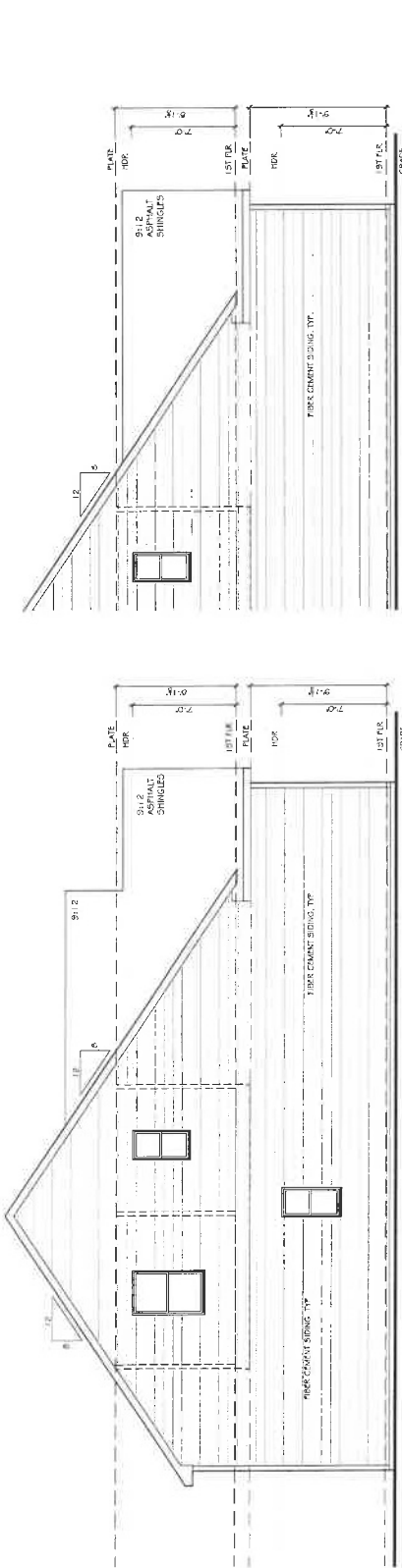
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SCALE:

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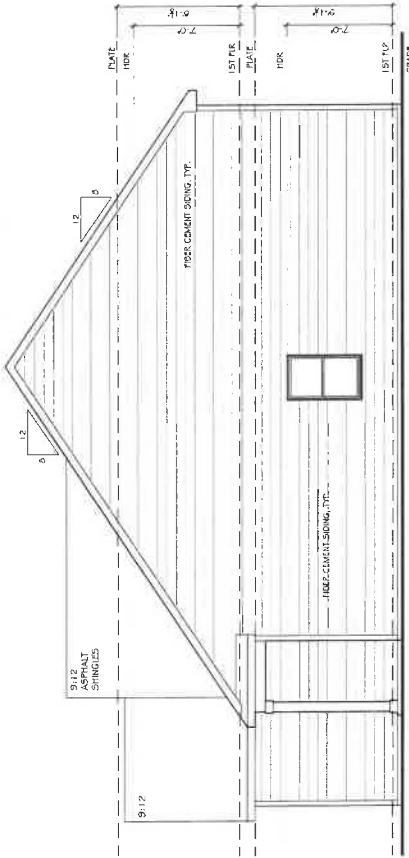
OF

**A.2.3**



3 LEFT ELEVATION A  
 SCALE: 1/8" = 1'-0" (VERTICAL) 1/8" = 1'-0" (HORIZONTAL)

4 LEFT ELEVATION B  
 SCALE: 1/8" = 1'-0" (VERTICAL) 1/8" = 1'-0" (HORIZONTAL)



2 RIGHT ELEVATION B  
 SCALE: 1/8" = 1'-0" (VERTICAL) 1/8" = 1'-0" (HORIZONTAL)

1 RIGHT ELEVATION A  
 SCALE: 1/8" = 1'-0" (VERTICAL) 1/8" = 1'-0" (HORIZONTAL)

- LEGEND:**
- 1. CONSTRUCTION METHOD
  - 2. MATERIALS
  - 3. FINISHES
  - 4. COLOR
  - 5. OTHER NOTES

**BRIGHTON  
 ELEVATIONS AND ROOF PLAN**

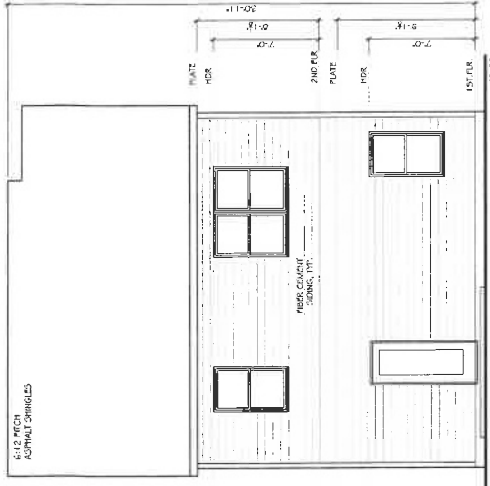
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REVISION CHANGES: REV. NO. REV. DATE

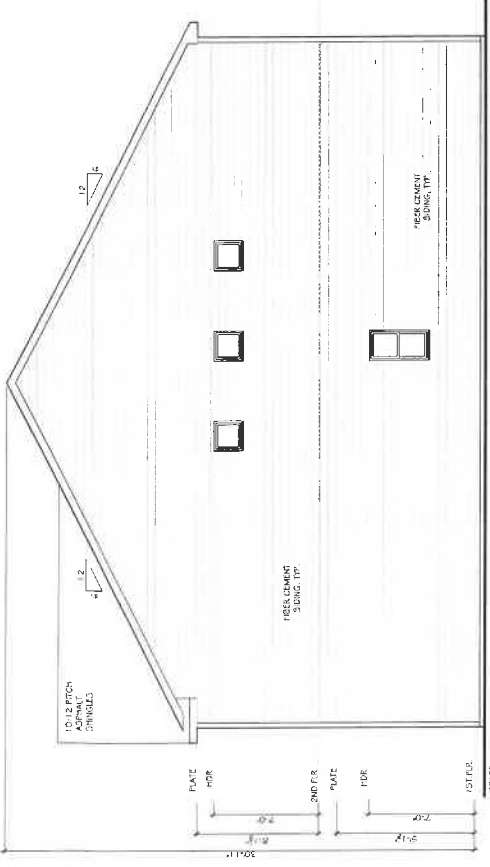
DECLARATION:  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

START DATE: 1/10/2022  
 DRAWN BY: MHS/ST  
 SCALE:  
 SHEET NO. A-02

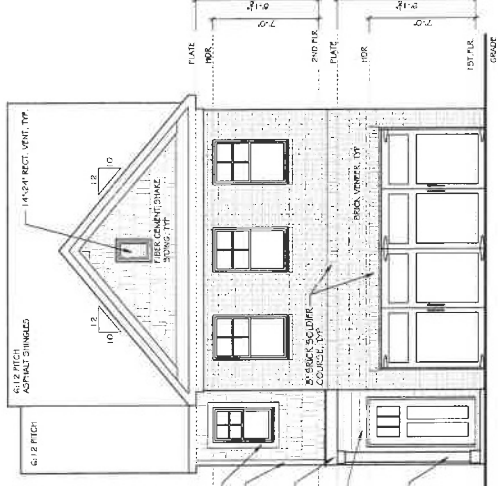
OF



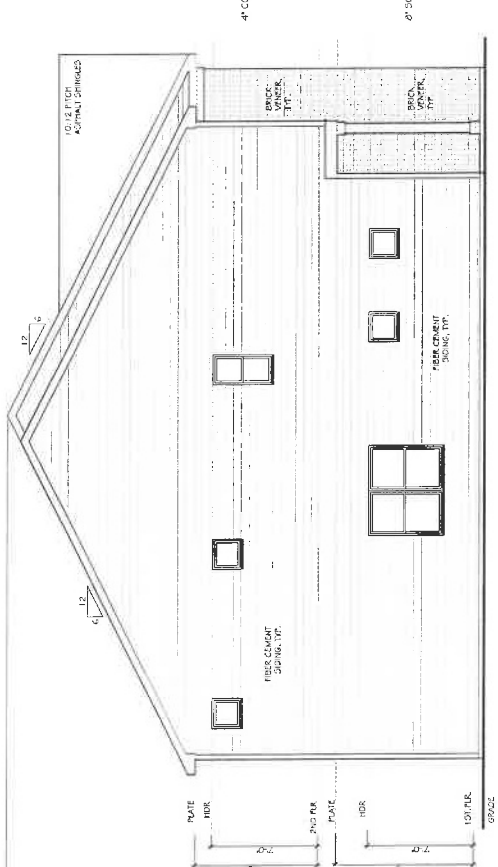
2 REAR ELEVATION  
 SCALE: 1/8\"/>



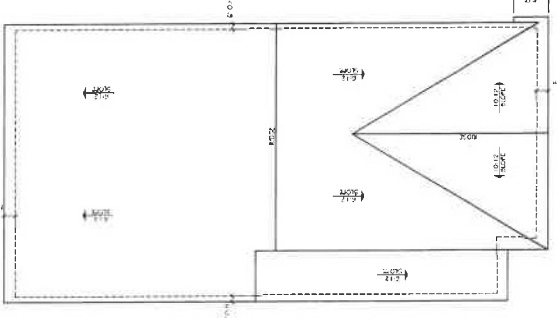
4 ROOF ELEVATION  
 SCALE: 1/8\"/>



1 FRONT ELEVATION A  
 SCALE: 1/8\"/>



3 LEFT ELEVATION  
 SCALE: 1/8\"/>



5 ROOF PLAN  
 SCALE: 1/8\"/>

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.



**HORNE & GRIFFIS, P.C.**  
32 South Court Square, P.O. Box 220  
Newnan, Georgia 30264  
[www.newnlaw.com](http://www.newnlaw.com)

MELISSA D. GRIFFIS (GA, AL)

Telephone (770) 253-3282  
FAX (770) 251-7262  
Email:melissa@newnanlaw.com

October 7, 2022

**VIA HAND DELIVERY**

Ms. Tracy Dunnivant, Planning Director  
The City of Newnan  
25 LaGrange Street  
Newnan, Georgia 30263

**RE: Application of Mill Creek Residential to Amend the Zoning Ordinance from OI-1 to PDR  
Approximately 34.497± Acres located at 90 Hospital Road,  
Newnan, Georgia**

Dear Ms. Dunnivant:

Mill Creek Residential ("Mill Creek"), the Applicant in the above-described property ("The Property") in the City of Newnan, Georgia, hereby makes this application to amend the zoning ordinance, to allow rezoning of the approximate 34.497 ± acres to be rezoned from OI-1 to PDR.

This PDR proposal will include 30' detached single family homes, 25' front entry townhomes, 22' rear entry townhomes, and 20' rear entry townhomes. The proposed density is 6.41 units per acre with the proposed minimum common open space of 5.48 acres or 16%. The amenities will include a clubhouse, clubroom, leasing office, fitness center, pool, pickle ball court, playground and dog park.

There are many proffered conditions in the attached zoning application packet. Please also see all attached plans, profiles, elevations, pictures and other demonstrative materials submitted or also to be considered as proffered conditions. The proposed amendment will facilitate the smart growth and development that is expected in the City of Newnan.

As noted on the "Application to Amend Zoning Text" form enclosed herewith, the Property is the best location for a PDR zoning as it is a prime location for a residential townhome development in the City of Newnan. The rezoning will allow for development of this current property that has been undeveloped for many years. The PDR zoning will be beneficial to the residents not only at The Property, but also the residents and business owners in the surrounding area.

Ms. Tracy Dunnivant, Planning Director  
October 7, 2022  
Page 2

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For the reasons stated above, Mill Creek believes that this application is not only consistent with, but advances the intent of the City of Newnan Zoning Ordinance. Mill Creek has, at attached Tabs (1) through (14) included all materials required per the Application Form and applicable Ordinance provisions. As always, should you have any questions about the material submitted, or should you require additional information, please do not hesitate to contact me. Mill Creek, as Applicant and myself as counsel for Mill Creek, look forward to working with you and your staff as you review and analyze the enclosed Application.

I look forward to receiving the Planner's Recommendation in the near future.

Yours Truly,



Melissa D. Griffis  
For Mill Creek Residential

MDG/kr  
Enclosure(s)



**NEWNAN**  
GEORGIA

**CITY OF NEWNAN, GEORGIA**  
**Planning & Zoning Department**

25 LaGrange Street  
Newnan, Georgia 30263  
Office (770) 254-2354  
Fax (770) 254-2361

**APPLICATION TO AMEND ZONING MAP**

**Note to Applicant:** Please be sure to complete all entries on the application form. If you are uncertain to the applicability of an item, contact The Planning & Zoning Department at 770-254-2354. Incomplete applications or applications submitted after the deadline *will not be accepted*.

Name of Applicant Mill Creek Residential

Mailing Address 3715 Northside Parkway, Building 200, Suite 440, Atlanta, GA 30327

Telephone (404) 623-7272 Email: mcanady@mcctrust.com

Property Owner (Use back if multiple names) Piedmont Newnan Hospital

Mailing Address Suite 850, 1800 Howell Mill Road, NW, Atlanta, GA 30331

Telephone \_\_\_\_\_

Address/Location of Property 60 Hospital Road, Newnan, GA 30263

Tax Parcel No.: N41A 001 Land Lot 59

District/Section 5th Size of Property (Square Feet or Acres) 34.497 acres

Present Zoning Classification: OI-1 Proposed Zoning Classification: PDR

Present Land Use: vacant medical office building

To the best of your ability, please answer the following questions regarding the application:

Explain how conditions have changed that renders the zoning map designation invalid and no longer applicable The medical office building and hospital have been vacant for an extended number of years and the redevelopment to a residential use will allow for the smart growth so highly valued in the City of Newnan.  
If the proposed zoning map change is an extension of an existing adjacent zoning district, provide an explanation why the proposed extension should be made \_\_\_\_\_

If the requested change is not designed to extend an adjacent zoning district, explain why this property should be placed in a different zoning district than all adjoining property. In other words, how does this property differ from adjoining property and why should it be subject to different restrictions? The Future Land Use Map shows this property as a redevelopment opportunity for growth. The Project would revitalize the area and allow a residential component near the Evans Middle School and Temple Avenue recreation facility.



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Please attach all the following items to the completed application:

1. A letter of intent giving the details of the proposed use of the property which should include, at a minimum, the following information:
  - What the property is to be used for, if known.
  - The size of the parcel or tract.
  - The zoning classification requested and the existing classification at the filing of this application.
  - The number of units proposed.
  - For non-residential projects, provide the density of development in terms of floor area ratio (FAR).
  - Any proposed buffers and modification to existing buffers.
  - Availability of water and sewer facilities including existing distance to property.
2. Name and mailing addresses of all owners of all property within 250 feet of the subject property (available from the County Tax Assessor records). This is encouraged to be submitted in a mail merge Microsoft Word data file format.
3. Legal description of property. This description must establish a point of beginning; and from the point of beginning, give each dimension bounding the property that the boundary follows around the property returning to the point of beginning. If there are multiple property owners, all properties must be combined into one legal description. If the properties are not contiguous, a separate application and legal description must be submitted for each property. For requests for multiple zoning districts, a separate application and legal description must be submitted for each district requested. A copy of the deed may substitute for a separate description.
4. A certified plat (stamped and dated) drawn to scale by a registered engineer, architect, land planner, land surveyor, or landscape architect that shall include the following information:
  - ✓ Boundary survey showing property lines with lengths and bearings
  - ✓ Adjoining streets, existing and proposed, showing right-of-way
  - ✓ Locations of existing buildings dimensioned and to scale, paved areas, dedicated parking spaces, and other property improvements
  - ✓ North arrow and scale
  - ✓ Adjacent land ownership, zoning and current land use
  - ✓ Total and net acreage of property
  - ✓ Proposed building locations
  - ✓ Existing and proposed driveway(s)
  - ✓ Lakes, ponds, streams, and other watercourses
  - ✓ Floodplain, wetlands, and slopes equal to or greater than 20 percent
  - ✓ Cemeteries, burial grounds, and other historic or culturally significant features
  - ✓ Required and/or proposed setbacks and buffers
5. Submit one (1) copy in an 18" x 24" format and one copy in a pdf digital file format.
6. Completed Proffered Conditions form.
7. Completed Disclosure of Campaign Contributions and Gifts form.
8. If the applicant and the property owner are not the same, complete the Property Owner's Authorization form and/or the Authorization of Attorney form.
9. For multiple owners, a Property Owner's Authorization form shall be submitted for each owner.
10. A community impact study must be submitted if the development meets any of the following criteria:
  - Office proposals in excess of 200,000 gross square feet
  - Commercial proposals in excess of 250,000 gross square feet
  - Industrial proposals which would employ over 500 persons
  - Multi-Family proposals in excess of 150 units

- 11. A Development of Regional Impact form shall be completed and submitted to the City if the request meets any of the criteria in §10-10 (b)(2)(h) on page 10-7 of the Newnan Zoning Ordinance.
- 12. Fees for Amending the Zoning Map shall be made payable to the **City of Newnan** and are listed below:
  - Single-Family Application.....\$500.00/Plus \$15.00 Per Acre
  - \* Multi-Family Application.....\$500.00/Plus \$25.00 Per Acre
  - Office/Institutional Application.....\$500.00/Plus \$15.00 Per Acre
  - Commercial Application.....\$500.00/Plus \$25.00 Per Acre
  - Industrial Application.....\$500.00/Plus \$15.00 Per Acre
  - Mixed Use Application.....\$500.00/Plus Per Acre fee based upon proposed land use.
  - Planned Development Application.....\$500.00/Plus per Acre fee based upon proposed land use.
  - Overlay Zoning Application.....\$350.00

**PLEASE NOTE: THIS APPLICATION MUST BE FILED BY THE 1st OF THE MONTH TO BE CONSIDERED FOR THE PLANNING COMMISSION MEETING OF THE FOLLOWING MONTH.**

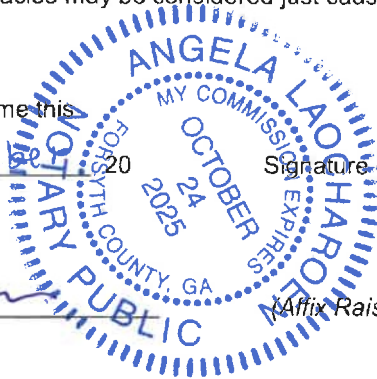
I (We) hereby authorize the staff of the City of Newnan to inspect the premises of the above-described property. I (We) do hereby certify the information provided herein is both complete and accurate to the best of my (our) knowledge, and I (we) understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application.

Sworn to and subscribed before me this

24 day of September 2022

Signature of Applicant

Notary Public



**FOR OFFICIAL USE ONLY**

DATE OF PRE-APPLICATION CONFERENCE: \_\_\_\_\_

RECEIVED BY: Dean Smith

DATE OF FILING: 10/7/22

FILING FEE RECEIVED: 10/7/22

DATE OF NOTICE TO NEWSPAPER: \_\_\_\_\_

DATE OF PUBLIC HEARING: \_\_\_\_\_

PLANNING COMMISSION RECOMMENDATION (DATE): \_\_\_\_\_

DATE OF TRANSMITTAL TO CITY COUNCIL: \_\_\_\_\_

CITY COUNCIL DECISION (DATE): \_\_\_\_\_

## **TAB 2**

### **Names and Addresses of All Property Owners Within 250' Feet**

ASSOC. COUNTY COMMISSIONER  
SUITE 700 / 191 PEACHTREE ST  
ATLANTA, GA 30303

BURG HARRY J III & EMILY S  
119 PICKENS DR  
NEWNAN, GA 30263

CRANFORD J. HERBERT & CAROLYN  
64 PARK VIEW DR  
NEWNAN, GA 30263

CRANFORD VALENTINE P  
139 PICKENS DR  
NEWNAN, GA 30263

EDGE BAMBI T  
118 PICKENS DR  
NEWNAN, GA 30263

HUDSON FRANCES CLAY  
130 PICKENS DR  
NEWNAN, GA 30263

JACKSON LEIGH O  
136 PICKENS DR  
NEWNAN, GA 30263

LEECH WILLIAM M & MARGARET  
122 PICKENS DR  
NEWNAN, GA 30263

MOTTOLA KATIE COLVIN  
123 PICKENS DR  
NEWNAN, GA 30263

NEWNAN PRACTICE HOLDINGS LLC  
51 HOSPITAL RD  
NEWNAN, GA 30263

PASS MATT HEW H & BRANNAN S  
126 PICKENS DR  
NEWNAN, GA 30263

PATHWAYS CENTER CSB  
122C GORDON COMMERCIAL DR  
LAGRANGE, GA 30240

PIEDMONT NEWNAN HOSPITAL INC,  
745 POPLAR RD  
NEWNAN, GA 30265

PIEDMONT NEWNAN HOSPITAL INC  
SUITE 850 | 1800 HOWELL MILL RD NW  
ATLANTA, GA 303180923

RUTLEDGE CENTER INC  
61 HOSPITAL RD  
NEWNAN, GA 30263

SPRAYBERRY DONALD L JR & TERRI G  
127 PICKENS DR  
NEWNAN, GA 30263

SURVEY LEGAL DESCRIPTION

TRACT 1

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 59, DISTRICT 5, CITY OF NEWNAN, COWETA COUNTY, GEORGIA; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD (100' R/W) WITH THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD (80' R/W); THENCE TRAVELING ALONG THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 184.88 FEET AND A RADIUS OF 954.55 FEET, BEING SUBTENDED BY A CHORD OF NORTH 50 DEGREES 17 MINUTES 43 SECONDS EAST A DISTANCE OF 184.59 FEET TO A 1/2" REBAR FOUND, SAID POINT BEING THE POINT OF BEGINNING;

THENCE LEAVING SAID RIGHT OF WAY NORTH 89 DEGREES 22 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 254.41 FEET TO A POINT ON THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD; THENCE TRAVELING ALONG SAID RIGHT OF WAY ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 389.38 FEET AND A RADIUS OF 2578.53 FEET, BEING SUBTENDED BY A CHORD OF NORTH 36 DEGREES 30 MINUTES 17 SECONDS WEST A DISTANCE OF 389.01 FEET TO A 3/8" BENT REBAR FOUND; THENCE LEAVING SAID RIGHT OF WAY NORTH 00 DEGREES 21 MINUTES 16 SECONDS EAST FOR A DISTANCE OF 1050.44 FEET TO A CAPPED REBAR FOUND; THENCE SOUTH 89 DEGREES 49 MINUTES 14 SECONDS EAST FOR A DISTANCE OF 646.06 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 89 DEGREES 49 MINUTES 14 SECONDS EAST FOR A DISTANCE OF 300.00 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 00 DEGREES 30 MINUTES 26 SECONDS WEST FOR A DISTANCE OF 239.91 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 00 DEGREES 30 MINUTES 35 SECONDS WEST FOR A DISTANCE OF 10.00 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 89 DEGREES 48 MINUTES 09 SECONDS EAST FOR A DISTANCE OF 289.56 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY OF HOSPITAL ROAD; THENCE TRAVELING ALONG THE WESTERLY AND NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD THE FOLLOWING FOUR (4) COURSES AND DISTANCES: SOUTH 00 DEGREES 27 MINUTES 27 SECONDS WEST FOR A DISTANCE OF 50.00 FEET TO A NAIL WITH SHINER FOUND; THENCE SOUTH 00 DEGREES 27 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 322.57 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 824.24 FEET AND A RADIUS OF 636.71 FEET, BEING SUBTENDED BY A CHORD OF SOUTH 37 DEGREES 32 MINUTES 35 SECONDS WEST A DISTANCE OF 767.88 FEET TO A POINT; THENCE WITH A REVERSE CURVE TO THE LEFT WITH AN ARC LENGTH OF 313.28 FEET AND A RADIUS OF 955.25 FEET, BEING SUBTENDED BY A CHORD OF SOUTH 65 DEGREES 13 MINUTES 59 SECONDS WEST A DISTANCE OF 311.88 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 32.606 ACRES AND IS DEPICTED ON THAT CERTAIN ALTA/NSPS PLAT OF SURVEY PREPARED BY LANDPRO SURVEYING AND MAPPING, INC., SEALED AND CERTIFIED BY JAMES H. RADER, GRLS NO. 3033, DATED AUGUST 19, 2022, REVISED SEPTEMBER 23, 2022.

TRACT 2

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 59, DISTRICT 5, CITY OF NEWNAN, COWETA COUNTY, GEORGIA; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD (100' R/W) WITH THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD (80' R/W); THENCE TRAVELING ALONG THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD THE FOLLOWING THREE (3) COURSES AND DISTANCES: NORTH 43 DEGREES 17 MINUTES 35 SECONDS WEST FOR A DISTANCE OF 138.82 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 26.34 FEET AND A RADIUS OF 2578.53 FEET, BEING SUBTENDED BY A CHORD OF NORTH 41 DEGREES 07 MINUTES 25 SECONDS WEST A DISTANCE OF 26.34 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 389.38 FEET AND A RADIUS OF 2578.53 FEET, BEING SUBTENDED BY A CHORD OF NORTH 36 DEGREES 30 MINUTES 17 SECONDS WEST A DISTANCE OF 389.01 FEET TO A 3/8" BENT REBAR FOUND; THENCE LEAVING SAID RIGHT OF WAY SOUTH 00 DEGREES 21 MINUTES 16 SECONDS WEST FOR A DISTANCE OF 143.62 FEET TO A 1/2" REBAR FOUND ON THE SOUTHWESTERLY RIGHT OF WAY OF SELT ROAD, SAID POINT BEING THE POINT OF BEGINNING;

THENCE TRAVELING ALONG THE SOUTHWESTERLY RIGHT OF WAY OF SELT ROAD ALONG A CURVE TO THE LEFT WITH AN ARC LENGTH OF 210.45 FEET AND A RADIUS OF 2658.53 FEET, BEING SUBTENDED BY A CHORD OF SOUTH 37 DEGREES 03 MINUTES 25 SECONDS EAST A DISTANCE OF 210.40 FEET TO A 1/2" REBAR FOUND; THENCE LEAVING SAID RIGHT OF WAY NORTH 89 DEGREES 22 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 127.82 FEET TO A 1/2" REBAR FOUND; THENCE NORTH 00 DEGREES 21 MINUTES 16 SECONDS EAST FOR A DISTANCE OF 166.49 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 0.238 ACRES AND IS DEPICTED ON THAT CERTAIN ALTA/NSPS PLAT OF SURVEY PREPARED BY LANDPRO SURVEYING AND MAPPING, INC., SEALED AND CERTIFIED BY JAMES H. RADER, GRLS NO. 3033, DATED AUGUST 19, 2022, REVISED SEPTEMBER 23, 2022.

PARCEL 3

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 59, DISTRICT 5, CITY OF NEWNAN, COWETA COUNTY, GEORGIA; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD (100' R/W) WITH THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD (80' R/W); THENCE TRAVELING ALONG THE NORTHWESTERLY AND WESTERLY RIGHT OF WAY OF HOSPITAL ROAD THE FOLLOWING FIVE (5) COURSES AND DISTANCES: ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 184.88 FEET AND A RADIUS OF 954.55 FEET, BEING SUBTENDED BY A CHORD OF NORTH 50 DEGREES 17 MINUTES 43 SECONDS EAST A DISTANCE OF 184.59 FEET TO A 1/2" REBAR FOUND; THENCE WITH A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 313.28 FEET AND A RADIUS OF 955.25 FEET, BEING SUBTENDED BY A CHORD OF NORTH 65 DEGREES 13 MINUTES 59 SECONDS EAST A DISTANCE OF 311.88 FEET TO A POINT; THENCE WITH A REVERSE CURVE TO THE LEFT WITH AN ARC LENGTH OF 824.24 FEET AND A RADIUS OF 636.71 FEET, BEING SUBTENDED BY A CHORD OF NORTH 37 DEGREES 32 MINUTES 35 SECONDS EAST A DISTANCE OF 767.88 FEET TO A POINT; THENCE NORTH 00 DEGREES 27 MINUTES 28 SECONDS EAST FOR A DISTANCE OF 322.57 FEET TO A NAIL WITH SHINER FOUND; NORTH 00 DEGREES 27 MINUTES 27 SECONDS EAST FOR A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING;

THENCE LEAVING SAID RIGHT OF WAY NORTH 89 DEGREES 48 MINUTES 09 SECONDS WEST FOR A DISTANCE OF 289.56 FEET TO A 1/2" REBAR FOUND; THENCE NORTH 00 DEGREES 30 MINUTES 35 SECONDS EAST FOR A DISTANCE OF 10.00 FEET TO A 1/2" REBAR FOUND; THENCE NORTH 00 DEGREES 30 MINUTES 26 SECONDS EAST FOR A DISTANCE OF 239.91 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 89 DEGREES 25 MINUTES 32 SECONDS EAST FOR A DISTANCE OF 288.91 FEET TO A 1/2" REBAR FOUND ON THE WESTERLY RIGHT OF WAY OF HOSPITAL ROAD; THENCE TRAVELING ALONG SAID RIGHT OF WAY SOUTH 00 DEGREES 21 MINUTES 29 SECONDS WEST FOR A DISTANCE OF 248.01 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 1.653 ACRES AND IS DEPICTED ON THAT CERTAIN ALTA/NSPS PLAT OF SURVEY PREPARED BY LANDPRO SURVEYING AND MAPPING, INC., SEALED AND CERTIFIED BY JAMES H. RADER, GRLS NO. 3033, DATED AUGUST 19, 2022, REVISED SEPTEMBER 23, 2022.

THE PROPERTY IS THE SAME PROPERTY AS REFERENCED IN THAT TITLE COMMITMENT NO. 220000140280 BY STEWART TITLE GUARANTY COMPANY WITH AN EFFECTIVE DATE OF JULY 19, 2022 @ 8:00 a.m.

**TITLE EXCEPTIONS**

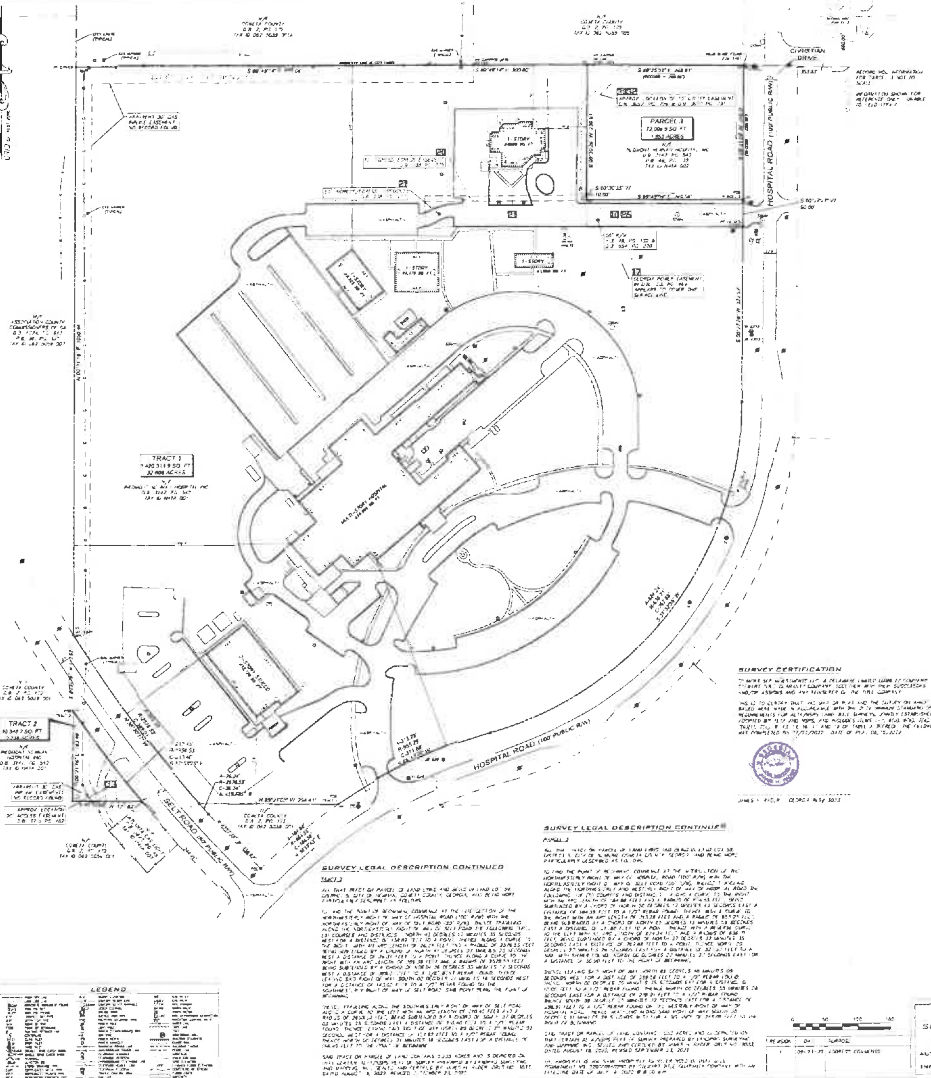
- 1. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
- 2. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
- 3. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
- 4. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
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- 13. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
- 14. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
- 15. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
- 16. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
- 17. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
- 18. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
- 19. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
- 20. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)

**Possible Encroachments**

- 1. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)
- 2. THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with legal descriptions of various tracts and parcels)

**SURVEY LEGAL DESCRIPTION**

ALL THAT PART OF PARCELS 1 AND 2 AND ALSO THE PART OF PARCELS 3 AND 4... (text continues with detailed legal descriptions of the surveyed land)



**SURVEY NOTES**  
1. THIS SURVEY WAS MADE FROM A PLAN OF THE CITY OF... (text continues with notes regarding the survey process and data sources)

**REQUIRED LEGAL DESCRIPTION**

THE SURVEY IS MADE FROM A PLAN OF THE CITY OF... (text continues with the required legal description of the surveyed land)

**SURVEY LEGAL DESCRIPTION CONTINUED**

ALL THAT PART OF PARCELS 1 AND 2 AND ALSO THE PART OF PARCELS 3 AND 4... (text continues with detailed legal descriptions of the surveyed land)

**LEGEND**

1	ASPHALT DRIVEWAY
2	CONCRETE DRIVEWAY
3	GRAVEL DRIVEWAY
4	PAVED DRIVEWAY
5	UNPAVED DRIVEWAY
6	ASPHALT DRIVEWAY
7	CONCRETE DRIVEWAY
8	GRAVEL DRIVEWAY
9	PAVED DRIVEWAY
10	UNPAVED DRIVEWAY
11	ASPHALT DRIVEWAY
12	CONCRETE DRIVEWAY
13	GRAVEL DRIVEWAY
14	PAVED DRIVEWAY
15	UNPAVED DRIVEWAY



**LAND PRO INVESTMENTS LLC**  
SURVEY AND MAPPING  
10000 W. 10th Ave., Suite 100  
Denver, CO 80202  
Tel: 303.733.1111  
Fax: 303.733.1112  
www.landproinvestments.com





**NEWNAN**  
GEORGIA

City of Newnan, Georgia  
Attachment A  
**Proffered Conditions**

As part of an application for a rezoning, a property owner **MAY** proffer, in writing, proposed conditions to apply and be part of the rezoning being requested by the applicant. Proffered conditions may include written statements, development plans, profiles, elevations, or other demonstrative materials.  
*(Please refer to Article 10 of the Zoning Ordinance for complete details.)*

Please list any written proffered conditions below:

The Subject Property shall include the following amenities: clubhouse, clubroom, leasing offices, fitness center, pool, pickle ball court, playground and dog park

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Any development plans, profiles, elevations, or other demonstrative materials presented as proffered conditions shall be referenced below and attached to this application:

All plans, profiles, elevations and other demonstrative materials included in the application packet are proffered herein.

\_\_\_\_\_  
\_\_\_\_\_

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

Signature of Applicant

MICHAEL CANADY

Type or Print Name and Title

Signature of Applicant's Representative

MELISSA D. GRIFFIS, ESQ.

Type or Print Name and Title

Angela Laocharoen  
Signature of Notary Public

9/26/22

Date



(Affix Raised Seal Here)



**NEWMAN**  
GEORGIA

City of Newnan, Georgia  
Attachment A  
**Proffered Conditions**

As part of an application for a rezoning, a property owner **MAY** proffer, in writing, proposed conditions to apply and be part of the rezoning being requested by the applicant. Proffered conditions may include written statements, development plans, profiles, elevations, or other demonstrative materials.  
*(Please refer to Article 10 of the Zoning Ordinance for complete details.)*

Please list any written proffered conditions below:

The Subject Property shall include the following amenities: clubhouse, clubroom,  
leasing offices, fitness center, pool, pickle ball court, playground and dog park

Any development plans, profiles, elevations, or other demonstrative materials presented as proffered conditions shall be referenced below and attached to this application:

All plans, profiles, elevations and other demonstrative materials included in the  
application packet are proffered herein.

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

Signature of Applicant  
Melissa D. Griffis  
Signature of Applicant's Representative

MICHAEL CANADY  
Type or Print Name and Title

MELISSA D. GRIFFIS, ESQ.  
Type or Print Name and Title

Karen Pichee      10.6.2022  
Signature of Notary Public      Date





**NEWNAN**  
GEORGIA

City of Newnan, Georgia  
Attachment B

# Disclosure of Campaign Contributions & Gifts

Application filed on October 7, 2022 for action by the Planning Commission on rezoning requiring a public hearing on property described as follows:

The undersigned below, making application for Planning Commission action, has complied with the Official Code of Georgia Section 36-67A-1, et.seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information on this form as provided.

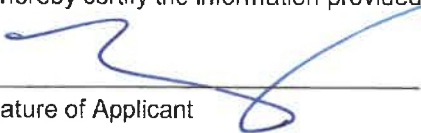
All individuals, business entities, or other organizations<sup>1</sup> having a property or other interest in said property subject of this application are as follows:

Have you as applicant or anyone associated with this application or property, within the two (2) years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Newnan City Council or a member of the Newnan Planning Commission?    Yes     No

If YES, please complete the following section (attach additional sheets if necessary):

Name and Official Position of Government Official	Contributions (List all which aggregate to \$250 or more)	Date of Contribution (Within last 2 years)

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

  
\_\_\_\_\_  
Signature of Applicant

Michael Canady  
\_\_\_\_\_  
Type or Print Name and Title

\_\_\_\_\_  
Signature of Applicant's Representative

\_\_\_\_\_  
Type or Print Name and Title

  
\_\_\_\_\_  
Signature of Notary Public

9/26/22  
Date



(Affix Raised Seal Here)

<sup>1</sup>Business entity may be a corporation, partnership, limited partnership, firm, enterprise, franchise, association, trade organization, or trust while other organization means non-profit organization, labor union, lobbyist or other industry or casual representative, church, foundation, club, charitable organization, or educational organization.



**NEWNAN**  
GEORGIA

City of Newnan, Georgia  
Attachment B

# Disclosure of Campaign Contributions & Gifts

Application filed on October 7, 2022 for action by the Planning Commission on rezoning requiring a public hearing on property described as follows:

The undersigned below, making application for Planning Commission action, has complied with the Official Code of Georgia Section 36-67A-1, et.seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information on this form as provided.

All individuals, business entities, or other organizations<sup>1</sup> having a property or other interest in said property subject of this application are as follows:

Have you as applicant or anyone associated with this application or property, within the two (2) years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Newnan City Council or a member of the Newnan Planning Commission?  Yes  No

If YES, please complete the following section (attach additional sheets if necessary):

Name and Official Position of Government Official	Contributions (List all which aggregate to \$250 or more)	Date of Contribution (Within last 2 years)

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

Signature of Applicant

Signature of Applicant's Representative

Type or Print Name and Title

MELISSA D. GRIFFIS, ATTORNEY

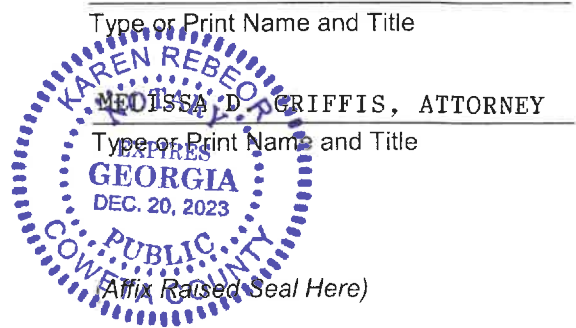
Type or Print Name and Title

Karen Rebeck

10.6.2022

Signature of Notary Public

Date



<sup>1</sup>Business entity may be a corporation, partnership, limited partnership, firm, enterprise, franchise, association, trade organization, or trust while other organization means non-profit organization, labor union, lobbyist or other industry or casual representative, church, foundation, club, charitable organization, or educational organization.



City of Newnan, Georgia  
Attachment C  
**Property Owner's Authorization**

The undersigned below, or as attached, is the owner of the property which is the subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of a rezoning of the property.

Name of Property Owner Piedmont Newnan Hospital, Inc.

Telephone Number contact: Michael Licause O- 470-271-2314 M- 678-637-2608

Address of Subject Property 60 Hospital Rd., Newnan, GA 30263 { including all tracts & parcels included in the survey in this application for re-zoning}

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Coweta County, Georgia.

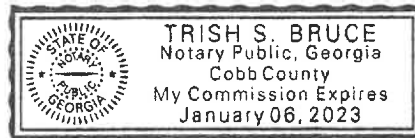
Signature of Property Owner

Personally appeared before me

John T. Tillman

who swears the information contained in this authorization is true and correct to the best of his/her knowledge and belief.

Trish S. Bruce  
Notary Public



(Affix Raised Seal Here)

9-13-2022  
Date



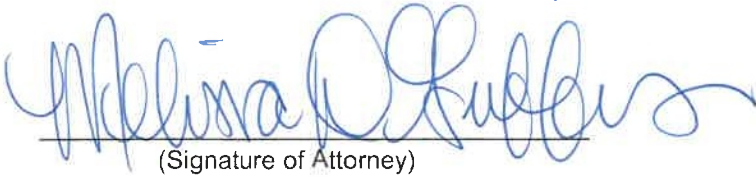
City of Newnan, Georgia  
Attachment D  
**Attorney's Authorization**

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**NOTE:** *If an attorney-at-law has prepared this application, please fill out the information below:*

I swear as an attorney-at-law, I have been authorized by the owner(s) to file the attached application for a rezoning of property.

  
(Signature of Attorney)

Name of Attorney           Melissa D. Griffis, Esq.          

Address           32 South Court Square            
          Newnan, GA 30263          

Telephone           (770) 253-3282          

Date           October 7, 2022



# Community Impact Study

*Mill Creek Residential*

*Newnan GA*

*October 07, 2022*

## **Introduction**

The proposed development site is located at the 60 Hospital Road at the location of the previous Piedmont Hospital in Newnan, Georgia. The site is comprised of all or portions of parcel number(s) N41A 001 and N41A 001A on the Coweta County Property Tax website. Per the tax property record(s) (attached in Appendix A), the total site is approximately 41.60 acres in size. The project will be constructed on portions of the property located on the east side of Hospital Road for a development size of 32.606 acres of the overall parcel(s).

The development is proposed to consist of 221 total units with a mixture of both detached and attached single family homes. A conceptual site plan is attached within Appendix B. Primary access to the site is provided by a full access driveway on Hospital Road and a second access is also provided on Hospital Road via a right-in/right-out driveway on the northern boundary thereby meeting the two entrance/exit requirements of the City of Newnan.

Since the development exceeds 150 units, a Community Impact Assessment is required to be prepared. Input for determining the impacts to the community was requested from the following agencies:

- Newnan Police Department;
- Newnan Fire Department;
- Newnan Utilities;
- Coweta County School Board.

The responses are summarized in sections below and a copy of the responses from the above agencies are included as attachments to this report. A traffic impact study is in the process of being completed and will be provided under a separate cover in November of 2022, and this report includes a detailed traffic methodology statement as well as an analysis of the property taxes and anticipated impact fees.

## **Traffic Impact**

Preparation of a traffic study is to be provided under separate cover. A detailed traffic study methodology has been attached to this report as Appendix C. The project is anticipated to generate 1,617 Average Daily Trips. Three (3) intersections have been identified for study. Background AM and PM traffic counts will be obtained for these intersections. Using these counts, the generated trips from the development will be distributed across the selected intersections. The intersections will then be analyzed for level of service and any required improvements will be identified.





### **City of Newnan Police Department**

A request was made to the City of Newnan Police Department for information regarding the quantity of police calls for similar developments, attached to this report in Appendix D. Police Chief Blankenship provided a letter summarizing the estimated quantity of police calls for a three years period, also within Appendix D. For this analysis Chief Blankenship was asked to review similar developments. Three similar developments that were referenced for this analysis: Newnan Crossing apartments (189 units), Vinings at Newnan Lakes (248 units) and preserve at Greison Trail (245 units).

For this development of 221 units, it was estimated that there will be an increase of 459 police calls, 25 motor vehicle accidents and 99 traffic stops within a three-year period. Which averages 153 calls per year, 8.33 motor vehicle accidents per year and 33 traffic stops per year.

Combining all police calls, accidents and traffic stops this development will generate on average, 194 police calls/stops/accidents per year. This becomes 0.87 calls/stops/accidents per unit/per year.

The Police Chief predicts that a strain would be placed on calls for service and would cause additional maintenance on equipment with a monetary value of \$15,0000 toward additional personnel.

### **City of Newnan Fire Department**

A request was made to the City of Newnan Fire Department for information regarding the quantity of fire calls for similar developments, copy attached to this report in Appendix E. Fire Chief Stephen Brown provided a letter summarizing the estimated quantity of fire calls for a one-year period, also within Appendix E. The Fire Chief used similar developments for the analysis. The three similar developments referenced for this analysis were: Newnan Promenade (189 units), Stillwood Apartments (248 units) and the Springs at Newnan (235 units).

The Fire Chief confirmed that at this time the Newnan Fire Department has the resources to provide services for the proposed addition of 221 units with the anticipated increase in calls of 58 per year.

The increase in call volume will impact the department with additional wear and tear on equipment and will influence the effectiveness and strength of the manpower. The anticipated impact may require additional equipment and manpower to continue to provide the service currently provided.

## **Newnan Utilities**

A request was made to Newnan Utilities for information regarding the capability to serve this development, a copy of which is within Appendix F. Below is summary of the impacts and minimum requirements for Newnan Utilities: electric, water and sanitary sewer.

### 1. Electric:

- a. Developer shall provide Newnan Utilities Engineering with AutoCAD drawing files for electrical design.
- b. Developer or Electrical Engineer shall complete Newnan Utilities load data sheet.
- c. Electrical shall be built out per Newnan Utilities contractor manual.

### 2. Sanitary Sewer:

- a. Developer shall connect to Newnan Utilities Sanitary Sewer System.
- b. Developer is responsible for all upgrade costs necessary to serve said property, including but not limited to:
  - Design and Construction of development sanitary sewer system per Newnan Utilities Specifications.
  - Design and construction of connection to Newnan Utilities Sanitary Sewer System.
  - Cost for analyzing existing sanitary sewer system by an engineer firm approved by Newnan Utilities.
  - Existing sanitary sewer upgrades to handle proposed development.
  - This is to include any lift station upgrades, gravity sanitary sewer upgrades, Sanitary sewer force main upgrades, and any other upgrades deemed necessary by Newnan Utilities.
  - Line extension fees associated with connection to Newnan Utilities Sanitary Sewer System.
  - Sanitary Sewer Impact fees associated with connection to Newnan Utilities Sanitary Sewer System.

### 3. Water:

- a. Developer shall connect to Newnan Utilities Water System.
- b. Developer is responsible for all upgrade cost necessary to serve said property, but not limited to:
  - Construction of development water system per Newnan Utilities Specifications.

- Design and construction of connection to Newnan Utilities Water System.
- Cost for analyzing existing water sewer system by an engineer firm approved by Newnan Utilities. iv. Existing water upgrades to handle proposed development. This is to include water system upgrades, fire protection upgrades, and any other upgrades deemed necessary by Newnan Utilities.
- Cost of all water meters, and any additional costs pertaining to the monitoring of water meters.
- Line extension fees associated with connection to Newnan Utilities Sanitary Sewer System.

4. Other Considerations:

- a. Please note that the existing gravity sanitary sewer system both on the north side and south side, may need upgrading to accommodate the development and any future development

### **Coweta County School Board**

A request was made to Coweta County School Board for information regarding the impacts to the school system regarding this development. A copy of this request is attached within Appendix G. As of the date of this report, the requested information has not been received.

### **Tax Revenue**

The tax parcels included in this development are N41A 001 and N41A 001A. The combined 100% value of these parcels with existing zoning and use per Coweta County public website would be a total of **\$6,622,218** per the 2022 Annual Assessment Notice attached in Appendix H.

In the calculation above the land value of tax parcel N41A 001 (\$6,622,218) needs to be adjusted by removing the land value of the vacant tract that lies on the east side of Hospital Road (approximately 4.68 acres). The land value was found by dividing the total value by the total acres yielding \$40,000 per acre. The adjusted value would then be 4.68 acres time \$40,000 equaling \$187,200 land value that should be removed from the total appraised value. The true total appraise value would then be **\$6,435,018.**

At build out (221 total units) the estimated 100% appraised valuation of the development will be approximately **\$54,500,000.** This is an increase in taxable value by **\$48,290,981.** The taxes anticipated to be paid are shown in the Table 1, below where a comparison from taxes from 2022 and compared with the taxes in year 2028 at built out.

**Table 1, Tax Revenue Comparison, (2022 vs 2028)**

ESTIMATED INCREASE IN ANNUAL PROPERTY TAX VALUE (N41A 001 & N41A 001A)				APPRAISED VALUE (100%)	ASSESSED VALUE (40%)
Existing Values 2022				\$ 6,622, 218	\$2,648,887
Estimated Appraised Value at build out (2028)				\$ 54,500,000	\$21,800,000
Taxing Authority	Millage Rate 2022	Existing Assessment 2022	Improved Taxable Assessment 2028	Estimated Increase in Property Taxes	
Coweta County	0.006162	\$16,322.44	\$134,331.60	\$118,008.56	
Coweta County Schools	0.017140	\$45,421.93	\$373,652.00	\$328,230.00	
City of Newnan	0.003574	\$9,467.12	\$77,913.20	\$68,446.08	
<b>TOTALS TAXES</b>		<b>\$71,211.49</b>	<b>\$585,897.8</b>	<b>\$514,686.31</b>	

### Impact Fees

Based on the current Development and Sanitary Sewer Impact Fee assessments for new developments within the City of Newnan, the development will generate **\$1,041,089.01** in impact fees. The Table 2 below summarizes the impact fees.

Table 2, Impact Fee Summary

Fee Type	Unit Cost	Total Units	Total
Development Impact Fee	\$1,110.81	221	\$245,489.01
Sanitary Sewer Impact Fee	\$3,600.00	221	795,600.00
<b>TOTAL IMPACT FEES</b>			<b>\$1,041,089.01</b>



## APPENDICES

- A - Coweta County Property Tax Record
- B - Conceptual Site Plan
- C - Traffic Impacts- Methodology – results pending
- D - Police Department Impacts
- E - Fire Department Impacts
- F - Utility Impacts
- G - Schools
- H - Tax Revenue

## APPENDIX A – PROPERTY CARDS

**Summary**

Parcel Number N41A 001  
 Location Address 60 HOSPITAL RD  
 Legal Description HOSP/41.3728 AC.LL 59 58 LD 5  
 (Note: Not to be used on legal documents)  
 Class C5-Commercial  
 (Note: This is for tax purposes only. Not to be used for zoning.)  
 Tax District NEWNAN 02 (District 02)  
 Millage Rate 26.876  
 Acres 41.37  
 Neighborhood Comm/Ind Newnan (G10000)  
 Homestead Exemption No (S0)  
 Landlot/District 59 / 5

[View Map](#)

**Owner**

[PIEDMONT NEWNAN HOSPITAL INC](#)  
 SUITE 850  
 1800 HOWELL MILL RD NW  
 ATLANTA, GA 30318-0923

**Land**

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Commercial	Comm-Newnan Comm (Acres)	Acres	1,802,077	0	0	41.37	1

**Commercial Improvement Information**

Description Hospitals-Avg  
 Value \$476,076  
 Actual Year Built 1980  
 Effective Year Built 1980  
 Square Feet 19670  
 Wall Height 10  
 Wall Frames  
 Exterior Wall  
 Roof Cover  
 Interior Walls  
 Floor Construction  
 Floor Finish  
 Ceiling Finish  
 Lighting  
 Heating  
 Number of Buildings 1

Description Hospitals-Avg  
 Value \$58,907  
 Actual Year Built 1980  
 Effective Year Built 1980  
 Square Feet 2000  
 Wall Height 10  
 Wall Frames  
 Exterior Wall  
 Roof Cover  
 Interior Walls  
 Floor Construction  
 Floor Finish  
 Ceiling Finish  
 Lighting  
 Heating  
 Number of Buildings 1

Description Hospitals-Avg  
 Value \$490,544  
 Actual Year Built 1960  
 Effective Year Built 1975  
 Square Feet 22570  
 Wall Height 10  
 Wall Frames  
 Exterior Wall  
 Roof Cover  
 Interior Walls

Floor Construction  
Floor Finish  
Ceiling Finish  
Lighting  
Heating  
Number of Buildings 1

Description Hospitals-Avg  
Value \$124,441  
Actual Year Built 1960  
Effective Year Built 1975  
Square Feet 4840  
Wall Height 10  
Wall Frames  
Exterior Wall  
Roof Cover  
Interior Walls  
Floor Construction  
Floor Finish  
Ceiling Finish  
Lighting  
Heating  
Number of Buildings 1

Description Hospitals-Avg  
Value \$152,611  
Actual Year Built 1985  
Effective Year Built 1985  
Square Feet 4542  
Wall Height 10  
Wall Frames  
Exterior Wall  
Roof Cover  
Interior Walls  
Floor Construction  
Floor Finish  
Ceiling Finish  
Lighting  
Heating  
Number of Buildings 1

Description Hospitals-Avg  
Value \$90,392  
Actual Year Built 1980  
Effective Year Built 1980  
Square Feet 2952  
Wall Height 10  
Wall Frames  
Exterior Wall  
Roof Cover  
Interior Walls  
Floor Construction  
Floor Finish  
Ceiling Finish  
Lighting  
Heating  
Number of Buildings 1

Description Hospitals-Fair  
Value \$12,885  
Actual Year Built 1980  
Effective Year Built 1980  
Square Feet 480  
Wall Height 10  
Wall Frames  
Exterior Wall  
Roof Cover  
Interior Walls  
Floor Construction  
Floor Finish  
Ceiling Finish  
Lighting  
Heating  
Number of Buildings 1



Description Hospitals-Avg  
 Value \$1,685,704  
 Actual Year Built 1960  
 Effective Year Built 1980  
 Square Feet 47103  
 Wall Height 10  
 Wall Frames  
 Exterior Wall  
 Roof Cover  
 Interior Walls  
 Floor Construction  
 Floor Finish  
 Ceiling Finish  
 Lighting  
 Heating  
 Number of Buildings 1

Description Warehouse-Storage-Poor  
 Value \$3,030  
 Actual Year Built 1980  
 Effective Year Built 1980  
 Square Feet 2304  
 Wall Height 10  
 Wall Frames  
 Exterior Wall  
 Roof Cover  
 Interior Walls  
 Floor Construction  
 Floor Finish  
 Ceiling Finish  
 Lighting  
 Heating  
 Number of Buildings 1

Description Office-Fair  
 Value \$79,216  
 Actual Year Built 1990  
 Effective Year Built  
 Square Feet 5602  
 Wall Height 12  
 Wall Frames  
 Exterior Wall  
 Roof Cover  
 Interior Walls  
 Floor Construction  
 Floor Finish  
 Ceiling Finish  
 Lighting  
 Heating  
 Number of Buildings 1

Description Warehouse-Storage-Good  
 Value \$64,895  
 Actual Year Built 1990  
 Effective Year Built 1990  
 Square Feet 6000  
 Wall Height 10  
 Wall Frames  
 Exterior Wall  
 Roof Cover  
 Interior Walls  
 Floor Construction  
 Floor Finish  
 Ceiling Finish  
 Lighting  
 Heating  
 Number of Buildings 1

Description Office-Fair  
 Value \$74,302  
 Actual Year Built 1990  
 Effective Year Built 1990  
 Square Feet 6150  
 Wall Height 10

Wall Frames  
 Exterior Wall  
 Roof Cover  
 Interior Walls  
 Floor Construction  
 Floor Finish  
 Ceiling Finish  
 Lighting  
 Heating  
 Number of Buildings 1

Description Office-Fair  
 Value \$26,644  
 Actual Year Built 1990  
 Effective Year Built 1990  
 Square Feet 1960  
 Wall Height 10  
 Wall Frames  
 Exterior Wall  
 Roof Cover  
 Interior Walls  
 Floor Construction  
 Floor Finish  
 Ceiling Finish  
 Lighting  
 Heating  
 Number of Buildings 1

**Accessory Information**

Description	Year Built	Dimensions/Units	Identical Units	Value
Comm-Paving-Asphalt	1999	1x57000 / 0	0	\$18,753
Comm-Paving-Asphalt	1990	1x45400 / 0	0	\$6,356
Comm-Paving-Asphalt	1970	1x265000 / 0	0	\$37,100

**Sales**

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
3/1/2007	3147 551		\$0	UNQUALIFIED MULTIPLE	PIEDMONT NEWNAN HOSPITAL INC	PIEDMONT NEWNAN HOSPITAL INC
3/1/2007	3147 542		\$36,925,102	QUALIFIED MULTIPLE	NEWNAN HOSPITAL INC	PIEDMONT NEWNAN HOSPITAL INC
12/31/2002	2076 528		\$19,200,000	UNQUALIFIED IMPROVED	ATLANTA HEALTHCARE	NEWNAN HOSPITAL INC
2/1/1999	1349 699		\$9,000,000	UNQUALIFIED IMPROVED	GENERAL HOSP OF HUMA	ATLANTA HEALTHCARE
12/22/1995	989 412		\$0	UNQUALIFIED IMPROVED		GENERAL HOSP OF HUMA
11/30/1982	344 403		\$0	UNKNOWN STATUS		GENERAL HOSP OF HUMA

**Valuation**

	2022	2021	2020	2019	2018	2017
Previous Value	\$5,056,656	\$5,056,656	\$5,148,545	\$5,148,545	\$5,148,545	\$5,148,545
Land Value	\$1,654,800	\$1,654,800	\$1,654,800	\$1,654,800	\$1,654,800	\$1,654,800
+ Improvement Value	\$3,339,647	\$3,339,647	\$3,339,647	\$3,339,647	\$3,339,647	\$3,339,647
+ Accessory Value	\$62,209	\$62,209	\$62,209	\$154,098	\$154,098	\$154,098
= Current Value	\$5,056,656	\$5,056,656	\$5,056,656	\$5,148,545	\$5,148,545	\$5,148,545

**Assessment Notices 2019**



## Assessment Notices

2020 (PDF)

2021 Assessment Notice (PDF)

2022 Assessment Notice (PDF)

**No data available for the following modules:** Online Appeal, Rural Land, Conservation Use Rural Land, Residential Improvement Information, Mobile Homes, Prebill Mobile Homes, Permits, Septic Drawings, Photos.

The Cowata County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

[User Privacy Policy](#)

[GDPR Privacy Notice](#)

Last Data Upload: [9/23/2022, 1:11:12 AM](#)

Version 2.3.224

Developed by  
 Schneider  
GEOSPATIAL

### Summary

**Parcel Number** N41A 001A  
**Location Address** 58 HOSPITAL RD  
**Legal Description** MED OFF BLDG/0.324 AC  
*(Note: Not to be used on legal documents)*  
**Class** C3-Commercial  
*(Note: This is for tax purposes only. Not to be used for zoning.)*  
**Tax District** NEWNAN 02 (District 02)  
**Millage Rate** 26.876  
**Acres** 0.32  
**Neighborhood** Comm/Ind Newnan (G10000)  
**Homestead Exemption** No (S0)  
**Landlot/District** 59 / 5

[View Map](#)

### Owner

[PIEDMONT NEWNAN HOSPITAL INC](#)  
 C/O JANINE DELAND- ADMINISTRATION  
 745 POPLAR RD  
 NEWNAN, GA 30265

### Land

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Commercial	Comm-Newnan Comm (Acres)	Acres	13,939	0	0	0.32	1

### Commercial Improvement Information

**Description** Medical Office-Avg  
**Value** \$1,531,304  
**Actual Year Built** 1999  
**Effective Year Built**  
**Square Feet** 27960  
**Wall Height** 12  
**Wall Frames**  
**Exterior Wall**  
**Roof Cover**  
**Interior Walls**  
**Floor Construction**  
**Floor Finish**  
**Ceiling Finish**  
**Lighting**  
**Heating**  
**Number of Buildings** 1

### Accessory Information

Description	Year Built	Dimensions/Units	Identical Units	Value
Comm-Paving-Asphalt	1999	100x200 / 0	0	\$18,800
Comm-Lights-Single	1999	0x0 / 1	3	\$2,658

### Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
3/1/2007	3147 558		\$0	UNQUALIFIED MULTIPLE	PIEDMONT NEWNAN HOSPITAL INC	PIEDMONT NEWNAN HOSPITAL INC
3/1/2007	3147 542		\$36,925,102	UNQUALIFIED MULTIPLE	NEWNAN HOSPITAL INC	PIEDMONT NEWNAN HOSPITAL INC
12/31/2002	2076 535		\$800,000	UNQUALIFIED IMPROVED	GENERAL HOSP OF HUMA	NEWNAN HOSPITAL INC
12/22/1995	989 412		\$0	UNQUALIFIED IMPROVED		GENERAL HOSP OF HUMA
11/30/1982	344 403		\$0	UNKNOWN STATUS		GENERAL HOSP OF HUMA

## Valuation

	2022	2021	2020	2019	2018	2017
Previous Value	\$1,565,562	\$1,565,562	\$1,588,845	\$1,588,845	\$1,588,845	\$1,588,845
Land Value	\$12,800	\$12,800	\$12,800	\$12,800	\$12,800	\$12,800
+ Improvement Value	\$1,531,304	\$1,531,304	\$1,531,304	\$1,531,304	\$1,531,304	\$1,531,304
+ Accessory Value	\$21,458	\$21,458	\$21,458	\$44,741	\$44,741	\$44,741
= Current Value	\$1,565,562	\$1,565,562	\$1,565,562	\$1,588,845	\$1,588,845	\$1,588,845

## Assessment Notices 2019

[35534 \(PDF\)](#)

## Assessment Notices

[2020 \(PDF\)](#)

[2021 Assessment Notice \(PDF\)](#)

[2022 Assessment Notice \(PDF\)](#)

**No data available for the following modules:** Online Appeal, Rural Land, Conservation Use Rural Land, Residential Improvement Information, Mobile Homes, Prebill Mobile Homes, Permits, Septic Drawings, Photos.

The Coweta County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

[User Privacy Policy](#)  
[GDPR Privacy Notice](#)

Last Data Upload: 9/23/2022, 1:11:12 AM

Version 23224

Developed by  
 Schneider  
 GEOSPATIAL

## APPENDIX B – CONCEPTUAL SITE PLAN





## APPENDIX C – TRAFFIC IMPACTS METHODOLOGY



# METHODOLOGY MEMORANDUM

55 Millard Farmer Ind. Blvd.  
Newnan, GA 30263  
678.423.0050  
www.lumin8.com

**Subject:** Hospital Road TIS Methodology  
**Date:** 10/6/22  
**To:** Dana Johnson, P.E., CFM  
**From:** Speedy Boutwell, P.E., PTOE

The purpose of this memorandum is to provide methodology that would be utilized to complete the Hospital Road Traffic Impact Study (TIS). The memo includes the following:

- The location in which the project would be located
- The proposed site plan
- A Trip Generation for the proposed project
- A preliminary estimate of which intersections would be studied and how the proposed traffic would travel to and from the site
- A preliminary growth rate for use in projecting future background growth

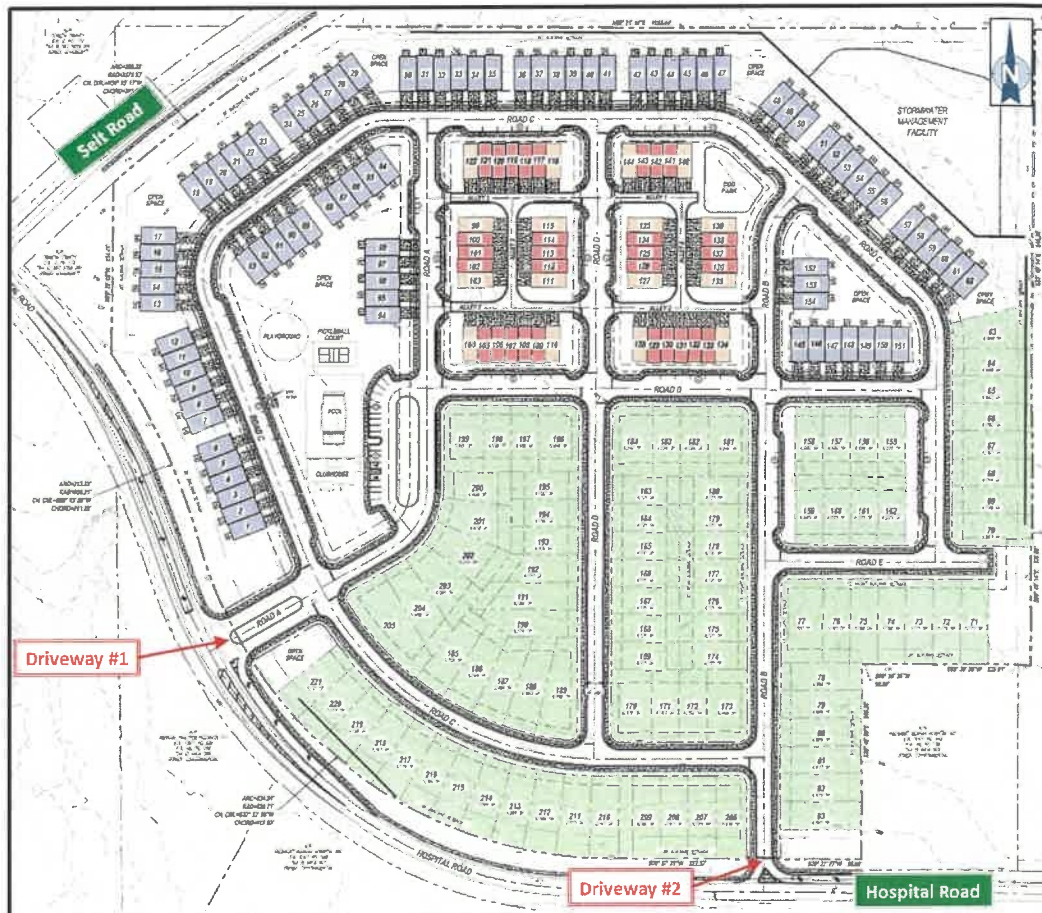
The Hospital Road development is proposed to consist of approximately 221 dwelling units, specifically townhomes. The development is proposed at the corner of Hospital Road and Selt Road in Newnan, GA. Figure 1 illustrates the project location.

**FIGURE 1: PROJECT LOCATION**



Figure 2 illustrates the site plan for the proposed development. The site plan indicates a 221-unit townhome community with two driveways that will intersect Hospital Road. Driveway #1 is proposed as full-access, while Driveway #2 is proposed as a Right-In/Right-Out (RIRO).

**FIGURE 2: SITE PLAN**

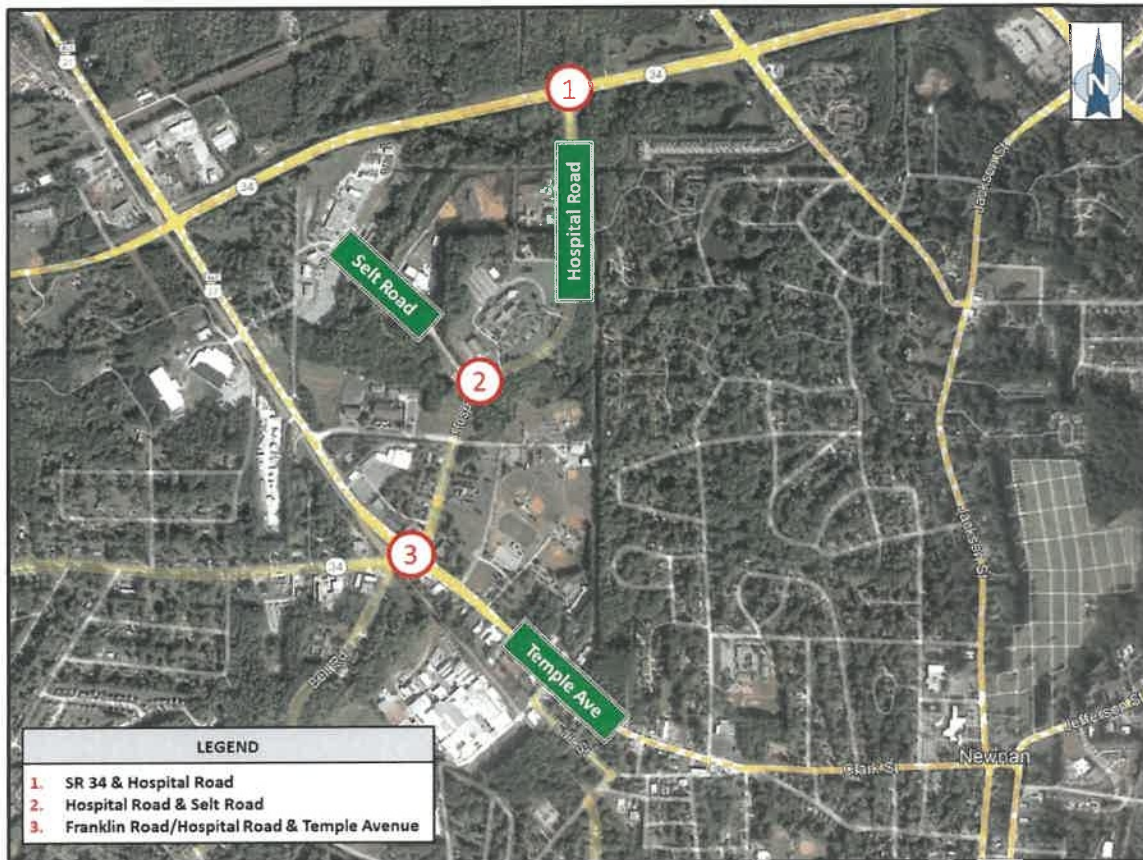


## STUDY INTERSECTIONS

To determine how the proposed development will affect the surrounding areas, existing intersections will be studied. As a part of this existing turning movements counts for the AM and PM peak periods at several nearby intersections will be collected. The study intersections are proposed to be:

- SR 34 and Hospital Road
- Hospital Road and Selt Road
- Franklin Road/Hospital Road and Temple Avenue

FIGURE 3: STUDY INTERSECTIONS



## TRIP GENERATION

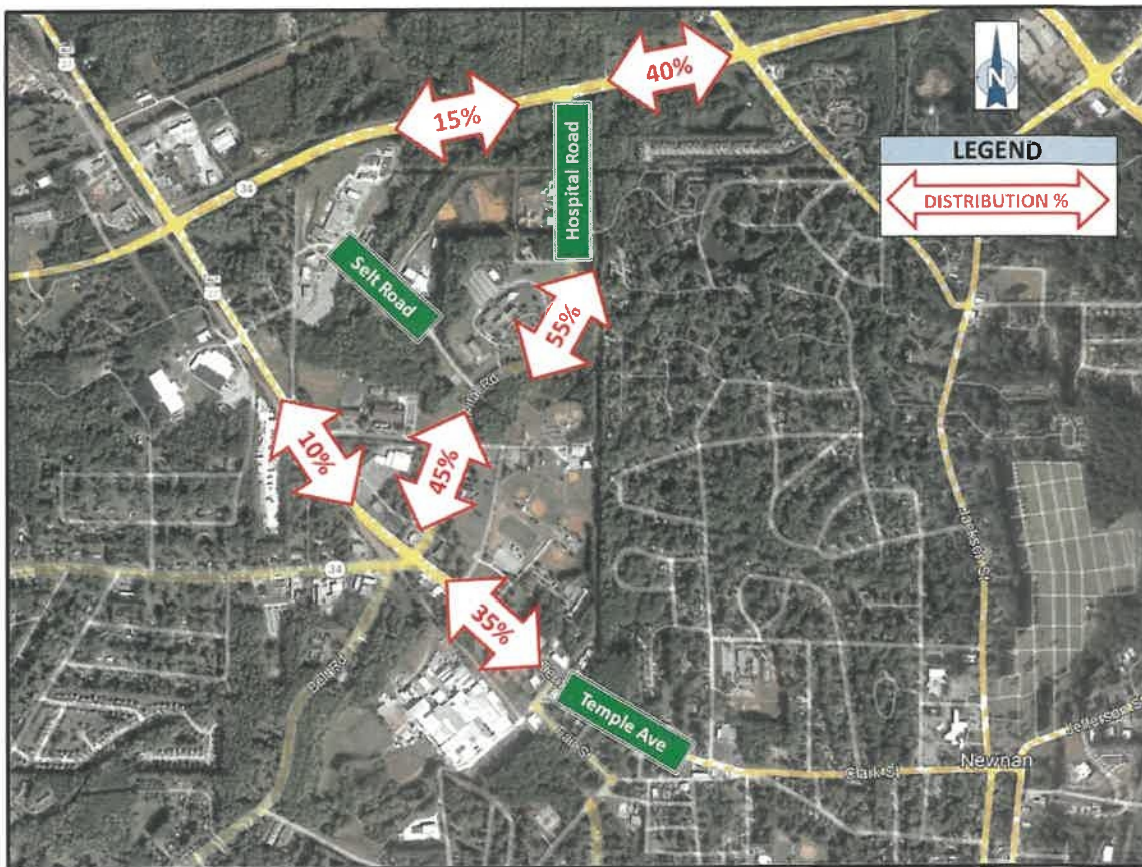
The trips generated by the development were estimated using trip generation rates found in ITE’s publication Trip Generation, 10th Edition. TripGen 10 software from Trafficware was used to facilitate the calculation. The trip generation publication contains multiple associated trip rates for the listed land use. The rates that resulted in the larger trip generation were used for this study. The trip generation can be seen below in Table 1.

**Table 1: TRIP GENERATION ESTIMATE**

ITE CODE	DESCRIPTION	SIZE	DAILY 2-WAY TRIPS	AM PEAK HOUR			PM PEAK HOUR		
				ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
220	Townhomes	221 Units	1618	23	79	102	78	46	124

Figure 4 illustrates the estimated trip distribution in which the development traffic is projected travel to and from the development. The percentages shown were developed by examining existing GDOT count stations.

**FIGURE 4: PRELIMINARY TRIP DISTRIBUTION**



NOTE: These percentages are subject to change during the TIS, as an Automatic Traffic Recorder will be utilized to collect the current traffic patterns on Hospital Road.

## **BACKGROUND GROWTH**

The ARC projects an annual population growth rate of 1.3% per year for Coweta County through 2050. Based on the data available from the nearby GDOT count station, the growth trend was calculated to be -0.11% for the past five years and 1.34% for the past ten years.

Based on these rates and the surrounding area, the growth rate was established to be 1.25% for the purpose of the study.

## APPENDIX D – POLICE IMPACTS

September 20, 2022

Via Email and Regular Mail

Chief Brent Blankenship  
City of Newnan Police Department  
P.O. Box 1193  
Newnan, GA 30264

Dear Mr. Blankenship,

Please find attached a conceptual site plan for a new development located at 60 Hospital Road. This is the site of the old Piedmont Hospital. The parcel numbers are N41A 001 and N41A 001A for approximately 32.5 acres in total size (property tax information attached).

The applicant desires to submit for the rezoning application in the City of Newnan. Since this application is for a development that exceeds 150 dwelling units, the city will require a Community Impact Study for Police, Fire, Water, Sanitary Sewer, and Public Schools. This assessment is to determine the likely impacts of the proposed development on each service providers capacity.

Please provide a letter indicating the estimated impact to your service area. If you have any questions, please do not hesitate to contact me at 678-552-2106 or via email at [djohnson@intse.com](mailto:djohnson@intse.com). Digital responses are acceptable.

Thank you,

Dana S. Johnson, P.E., CFM  
Senior Engineer

Attachments:

1. Proposed Conceptual Plan
2. Coweta Tax Parcel Map



**NEWNAN**

**POLICE**

BRENT BLANKENSHIP  
CHIEF OF POLICE

09/29/22

Reference: 60 Hospital Rd. Development

Dear Tracy,

After reviewing call history for multiple developments that could compare to this one development, it is estimated that there will be an increase of approximately 459 calls, 25 motor vehicle accidents and 99 traffic stops in a three-year period for this development.

There would be an increase of people and vehicle traffic to the area, it would have an impact on motor vehicle accidents and calls of service to that area while also effecting call service and response times to other parts to the city.

It is believed that a strain would be placed on calls for service and would cause additional maintenance on equipment, with a monetary value of \$15,000.00 toward additional personnel.

Thanks,

Brent Blankenship

Chief of Police

Newnan Police Department





## APPENDIX E – FIRE IMPACTS



September 20, 2022

Via Email and Regular Mail

Chief Stephen Brown  
City of Newnan Fire Department  
P.O. Box 1193  
Newnan, GA 30264

Dear Mr. Brown,

Please find attached an updated version of the conceptual site plan for a new development located at 60 Hospital Road. This is the site of the old Piedmont Hospital. The parcel numbers are N41A 001 and N41A 001A for approximately 32.5 acres in total size (property tax information attached).

The applicant desires to submit for the rezoning application the end of September 2022. Since this application is for a development that exceeds 150 dwelling units, the City will require a Community Impact Study for Police, Fire, Water, Sanitary Sewer, and Public Schools. This assessment is to determine the likely impacts of the proposed development on each service providers capacity.

Please provide a letter indicating the estimated impact to your service area. If you have any questions, please do not hesitate to contact me at 678-552-2106 or via email at [djohnson@intse.com](mailto:djohnson@intse.com). Digital responses are acceptable and encouraged.

Thank you,

Dana S. Johnson, P.E., CFM  
Senior Engineer

**Attachments:**

1. Proposed Conceptual Plan
2. Coweta Tax Parcel Map



# NEWNAN FIRE DEPARTMENT



23 JEFFERSON STREET • NEWNAN, GA 30263  
770-253-1851 (P) • 770-638-8678 (F)

Stephen R. Brown, Fire Chief

September 29, 2022

Dear Tracy,

The following information is regarding the request by Dana Johnson for an update to community impact analysis on a proposed conceptual site plan for new development on Hospital Road. This is the site of the old Piedmont Hospital.

At this time, the Newnan Fire Department has the resources to provide services for the proposed addition of 222 units. However, upon full completion, it will impact the specific area with increase in population and traffic.

The increase in call volume will impact our department with additional wear and tear on equipment and will influence the effectiveness and strength of our manpower.

The list of comparable properties below has been analyzed.

Proposed	Comparison Apartments	# of Units	12 Month Call Volume
Hospital Road	Newnan Promenade	189	79
# of units 222	Stillwood Apts	248	52
	Springs @ Newnan	235	44
	<b>Avg</b>	<b>Calls</b>	<b>58</b>

We've had request for impact analysis on other similar proposed properties in the area, as well. It does create cause for concern regarding the effectiveness of fire services and response times to current service areas. We strive for excellence and to continue serving our citizens as we do currently, therefore the impact of the proposed property may require additional equipment and manpower at the Newnan Fire Department, in the future.

Kind Regards,

  
Stephen Brown

## APPENDIX F – UTILITY IMPACTS



September 20, 2022

Via Email and Regular Mail

Newnan Utilities  
Scott Tolar, P.E.  
315 Millard Farmer Industrial Blvd  
Newnan, GA 30263

Dear Mr. Tolar,

Please find attached an updated copy of the conceptual site plan for a new development located at 60 Hospital Road. This is the site of the old Piedmont Hospital. The parcel numbers are N41A 001 and N41A 001A for approximately 32.5 acres in total size (property tax information attached).

The applicant desires to submit for the rezoning application in the City of Newnan. Since this application is for a development that exceeds 150 dwelling units, the city will require a Community Impact Study for Police, Fire, Water, Sanitary Sewer, and Public Schools. This assessment is to determine the likely impacts of the proposed development on each service providers capacity.

Please provide a letter indicating the estimated impact to your service area. If you have any questions, please do not hesitate to contact me at 678-552-2106 or via email at [djohnson@intse.com](mailto:djohnson@intse.com). Digital responses are acceptable.

Thank you,

Dana S. Johnson, P.E., CFM  
Senior Engineer

Attachments:

1. Proposed Conceptual Plan
2. Coweta Tax Parcel Map



October 3, 2022

Dana S. Johnson, P.E., CFM  
Senior Engineer  
Integrated Science & Engineering  
1039 Sullivan Road  
Suite 200  
Newnan, GA 30265

RE: 60 Hospital Rd – Parcel N41A 001 and N41A 001A – 221 Units

Ms. Johnson,

I am writing per your request to confirm that Newnan Utilities will be the electric, water and sewer service provider for the above referenced project. At this time Newnan Utilities has ample capacity to serve this proposed facility based on the following information:

- Parcel Number N41A 001 and N41A 001A
  - 32.5 Acres
  - Attached concept plan
1. Electric:
    - a. Developer shall provide Newnan Utilities Engineering with AutoCAD drawing files for electrical design.
    - b. Developer or Electrical Engineer shall complete Newnan Utilities load data sheet.
    - c. Electrical shall be built out per Newnan Utilities contractor manual.
  2. Sanitary Sewer:
    - a. Developer shall connect to Newnan Utilities Sanitary Sewer System.
    - b. Developer is responsible for all upgrade costs necessary to serve said property, but not limited to:
      - i. Design and Construction of development sanitary sewer system per Newnan Utilities Specifications.
      - ii. Design and construction of connection to Newnan Utilities Sanitary Sewer System.

70 Sewell Road  
Newnan, GA 30263  
770-683-5516  
770-683-0292 fax  
[www.NewnanUtilities.org](http://www.NewnanUtilities.org)

- iii. Cost for analyzing existing sanitary sewer system by an engineer firm approved by Newnan Utilities.
- iv. Existing sanitary sewer upgrades to handle proposed development. This is to include any lift station upgrades, gravity sanitary sewer upgrades, Sanitary sewer force main upgrades, and any other upgrades deemed necessary by Newnan Utilities.
- v. Line extension fees associated with connection to Newnan Utilities Sanitary Sewer System.
- vi. Sanitary Sewer Impact fees associated with connection to Newnan Utilities Sanitary Sewer System.

3. Water:

- a. Developer shall connect to Newnan Utilities Water System.
- b. Developer is responsible for all upgrade cost necessary to serve said property, but not limited to:
  - i. Construction of development water system per Newnan Utilities Specifications.
  - ii. Design and construction of connection to Newnan Utilities Water System.
  - iii. Cost for analyzing existing water sewer system by an engineer firm approved by Newnan Utilities.
  - iv. Existing water upgrades to handle proposed development. This is to include water system upgrades, fire protection upgrades, and any other upgrades deemed necessary by Newnan Utilities.
  - v. Cost of all water meters, and any additional costs pertaining to the monitoring of water meters.
  - vi. Line extension fees associated with connection to Newnan Utilities Sanitary Sewer System.

4. Other Considerations:

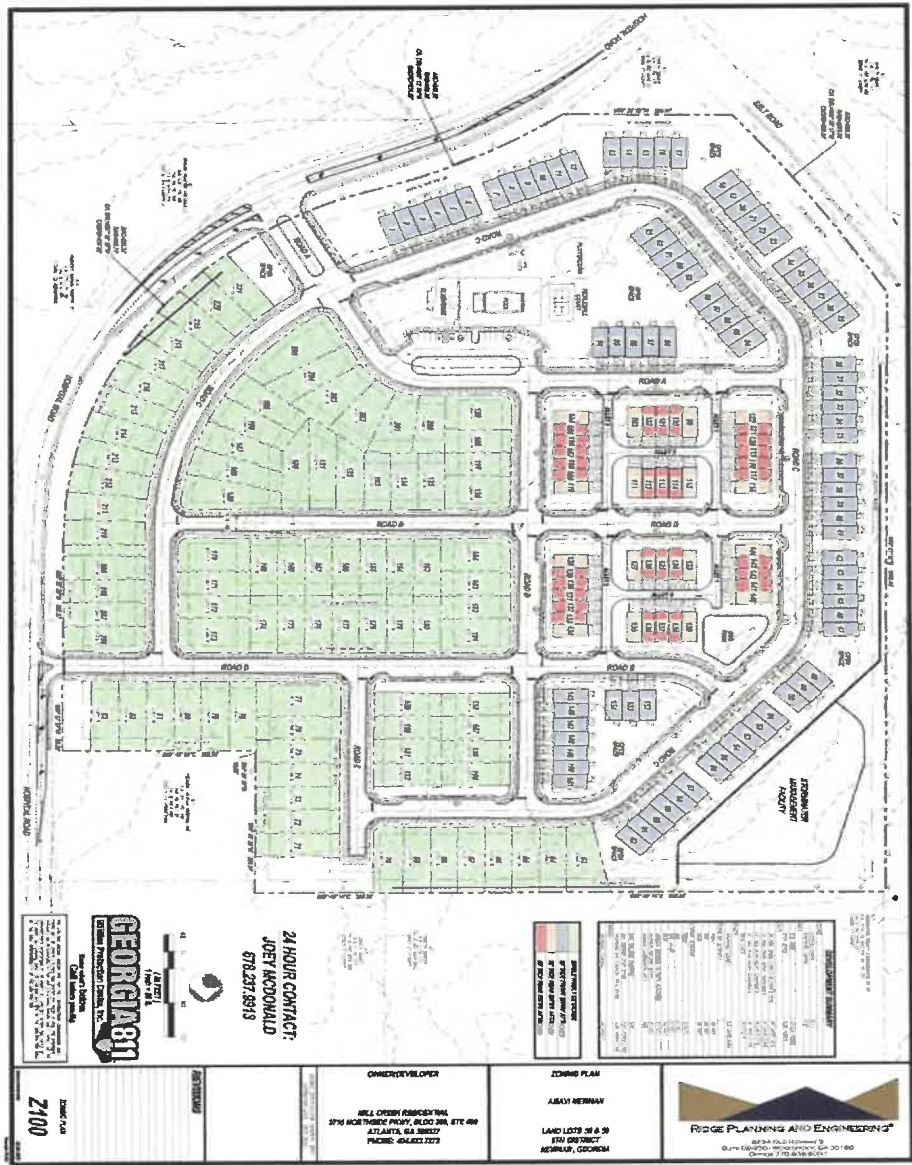
- a. Please note that the existing gravity sanitary sewer system both on the north side and south side, may need upgrading to accommodate the development and any future development.

Please let me know if you have any questions or need additional information.

Sincerely,



Scott Tolar, P.E.  
Newnan Utilities  
(770) 301-0245  
stolar@newnanutilities.org



70 Sewell Road  
Newnan, GA 30263  
770-683-5516  
770-683-0292 fax  
www.NewnanUtilities.org





## APPENDIX G – SCHOOL IMPACTS

September 20, 2022

Via E-Mail and Regular Mail

Coweta County School Board  
Ronnie Cheek, Facilities Director  
167 Werz Industrial Drive  
Newnan, GA 30264

Dear Mr. Cheek,

Please find attached a conceptual site plan for a 206-unit townhome development located at 60 Hospital Road. This is the site of the old Piedmont Hospital. The parcel numbers are N41A 001 and N41A 001A for approximately 32.5 acres in total size (property tax information attached).

The applicant desires to submit for the rezoning application in the City of Newnan. Since this application is for a development that exceeds 150 dwelling units, the city will require a Community Impact Study for Police, Fire, Water and Sewer, and Public Schools. This assessment is to determine the likely impacts of the proposed development on each service providers capacity.

Please provide a letter indicating the estimated impact to your service area. If you have any questions, please do not hesitate to contact me at 678-552-2106 or via email at [djohnson@intse.com](mailto:djohnson@intse.com). Digital responses are acceptable.

Thank you,

Dana S. Johnson, P.E., CFM  
Senior Engineer

Attachments:

1. Proposed Conceptual Plan
2. Coweta Tax Parcel Map

## APPENDIX H – TAX REVENUE ASSESSMENTS

COWETA COUNTY BOARD OF ASSESSORS  
 37 PERRY STREET  
 NEWNAN GA 30263

PT-306 (revised Jan 2016)

RETURN SERVICE REQUESTED

**Official Tax Matter - 2022 Tax Year**

This correspondence constitutes an official notice of ad valorem assessment for the tax year shown above.

**Annual Assessment Notice Date:** 6/17/2022

**Last date to file a written appeal:** 8/1/2022

**\*\*\* This is not a tax bill - Do not send payment \*\*\***

County property records are available online at: [www.cowetatax.com](http://www.cowetatax.com)

11972953-48794-1 1 2 48794 1 AB 0.461 111



PIEDMONT NEWNAN HOSPITAL INC  
 1800 HOWELL MILL RD NW STE 850  
 ATLANTA GA 30318-0923

9799PRNA 4/18/19 K

The amount of your ad valorem tax bill for the year shown above will be based on the **Appraised** (100%) and **Assessed** (40%) values specified in **BOX 'B'** of this notice. **You have the right to submit an appeal regarding this assessment to the County Board of Tax Assessors.** If you wish to file an appeal, you must do so in writing no later than 45 days after the date of this notice. If you do not file an appeal by this date, your right to file an appeal will be lost. Appeal forms which may be used are available at <https://dor.georgia.gov/documents/property-tax-appeal-assessment-form>.

At the time of filing your appeal you must select one of the following appeal methods:

**A**

- (1) County Board of Equalization (value, uniformity, denial of exemption, or taxability)
- (2) Arbitration (value)
- (3) County Hearing Officer (value or uniformity, on non-homestead real property or wireless personal property valued, in excess of \$500,000)

All documents and records used to determine the current value are available upon request. For further information regarding this assessment and filing an appeal, you may contact the county Board of Tax Assessors which is located at 37 Perry Street Newnan, GA 30263 and which may be contacted by telephone at: (770) 254-2680. Your staff contacts are Joe M (extension 8960) and Jeff K(extension 8966).

Additional information on the appeal process may be obtained at <https://dor.georgia.gov/property-tax-real-and-personal-property>

Account Number	Property ID Number	Acreage	Tax Dist	Covenant Year	Homestead
35533	N41A 001	41.37	02		NO-S0
<b>Property Description</b>		HOSP/41.3728 AC LL 59 58 LD 5			
<b>Property Address</b>		60 HOSPITAL RD			
	<b>Taxpayer Returned Value</b>	<b>Previous Year Fair Market Value</b>	<b>Current Year Fair Market Value</b>	<b>Current Year Other Value</b>	
<b>B</b>	100% <b>Appraised</b> Value	0	5,056,656	5,056,656	0
	40% <b>Assessed</b> Value	0	2,022,662	2,022,662	0

**REASONS FOR ASSESSMENT NOTICE**

**C2** -Annual Notice: No change in return/previous value

The estimate of your ad valorem tax bill for the current year is based on the previous or most applicable year's millage rate and the fair market value contained in this notice. The actual tax bill you receive may be more or less than this estimate. This estimate may not include all eligible exemptions.

Taxing Authority	Other Exempt	Homestead Exempt	Net Taxable Value	Millage	Estimated Tax
<b>C</b> STATE	0	0	2,022,662	0.000000	0.00
COUNTY M & O	0	0	2,022,662	0.006162	12,463.64
SCHOOL M & O	0	0	2,022,662	0.017140	34,668.43
NEWNAN CITY TAX	0	0	2,022,662	0.003574	7,228.99

**Total Estimated Tax** 54,361.06

11972953-34248-1-1\*

COWETA COUNTY BOARD OF ASSESSORS  
 37 PERRY STREET  
 NEWNAN GA 30263

PT-306 (revised Jan 2016)

RETURN SERVICE REQUESTED

**Official Tax Matter - 2022 Tax Year**

This correspondence constitutes an official notice of ad valorem assessment for the tax year shown above.

**Annual Assessment Notice Date:** 6/17/2022

**Last date to file a written appeal:** 8/1/2022

**\*\*\* This is not a tax bill - Do not send payment \*\*\***

County property records are available online at: [www.cowetatax.com](http://www.cowetatax.com)

11972953-34248-1 1 1 34248 1 AV 0.426 76



PIEDMONT NEWNAN HOSPITAL INC  
 C/O JANINE DELAND- ADMINISTRATION  
 745 POPLAR RD  
 NEWNAN GA 30265-1618

8799PRNA 4/18/19 K

The amount of your ad valorem tax bill for the year shown above will be based on the **Appraised** (100%) and **Assessed** (40%) values specified in **BOX 'B'** of this notice. **You have the right to submit an appeal regarding this assessment to the County Board of Tax Assessors.** If you wish to file an appeal, you must do so in writing no later than 45 days after the date of this notice. If you do not file an appeal by this date, your right to file an appeal will be lost. Appeal forms which may be used are available at <https://dor.georgia.gov/documents/property-tax-appeal-assessment-form>.

At the time of filing your appeal you must select one of the following appeal methods:

**A**

- (1) County Board of Equalization (value, uniformity, denial of exemption, or taxability)
- (2) Arbitration (value)
- (3) County Hearing Officer (value or uniformity, on non-homestead real property or wireless personal property valued, in excess of \$500,000)

All documents and records used to determine the current value are available upon request. For further information regarding this assessment and filing an appeal, you may contact the county Board of Tax Assessors which is located at 37 Perry Street Newnan, GA 30263 and which may be contacted by telephone at: (770) 254-2680. Your staff contacts are Joe M (extension 8960) and Jeff K(extension 8966).

Additional information on the appeal process may be obtained at <https://dor.georgia.gov/property-tax-real-and-personal-property>

Account Number	Property ID Number		Acreage	Tax Dist	Covenant Year	Homestead
35534	N41A	001A	0.32	02		NO-S0
<b>Property Description</b>		MED OFF BLDG/0.324 AC				
<b>Property Address</b>		58 HOSPITAL RD				
	<b>Taxpayer Returned Value</b>	<b>Previous Year Fair Market Value</b>	<b>Current Year Fair Market Value</b>	<b>Current Year Other Value</b>		
<b>B</b>	100% <b>Appraised Value</b>	0	1,565,562	1,565,562	0	
	40% <b>Assessed Value</b>	0	626,225	626,225	0	

**REASONS FOR ASSESSMENT NOTICE**

C2 -Annual Notice: No change in return/previous value

The estimate of your ad valorem tax bill for the current year is based on the previous or most applicable year's millage rate and the fair market value contained in this notice. The actual tax bill you receive may be more or less than this estimate. This estimate may not include all eligible exemptions.

Taxing Authority	Other Exempt	Homestead Exempt	Net Taxable Value	Millage	Estimated Tax
<b>C</b> STATE	0	0	626,225	0.000000	0.00
COUNTY M & O	0	0	626,225	0.006162	3,858.80
SCHOOL M & O	0	0	626,225	0.017140	10,733.50
NEWNAN CITY TAX	0	0	626,225	0.003574	2,238.13

**Total Estimated Tax 16,830.43**

# **TAB 12**

## **Preliminary Tree Management Plan**

**24 HOUR CONTACT:  
JOEY McDONALD  
678.237.9913**

Approximate Area of Existing Vegetation, Type  
A Pocket of Wooded Area Containing  
Mature Pines and Hardwoods Trees on  
the Northeast Corner of the Site. Tree  
Rows on the Wooded Pocket are Around  
the Site Perimeter from P-541 Drive.  
Some Specimen Size Trees Located in the  
Area



Approximate Area of Existing Vegetation, Type

Professional Building Parking Area Contains a Mix of  
Shade and Ornamental Trees in the Parking Islands.  
Against the Building and along the Outside Edge of  
Property from the Side Road. Articulated Tree Rows  
Area Lined along the Parkway Area and is Characterized  
by a Mix of Small to Medium Ornamental Trees with Some  
Maple and Oak. Photo Below. Tree Rows to be Protected  
by Active Tree Protection Fence per Code Standards.



**EXISTING VEGETATION CHARACTERISTICS**  
SEE MAP NOTES FOR SHEET  
The Site Contains the Primary Building and Related  
Professional Office Outbuildings, Parking Lots and  
Automobile Circulation of an Ambulatory Hospital.

The Developed Portion of the Site is Characterized by  
Road Areas of Open Lawn, Maples and Ornamentals  
Scattered Parking Areas and Surrounding the Buildings  
Typical of a Previously Developed Commercial Site.

Remnant Size Trees have been Located in the Wooded  
Pocket and Remnant in the Area in the Main Building  
and in Areas of the Parking Lots. Tree Rows in the  
Wooded Pocket and Around the Site Range from 1' - 34'  
DBH.

**PLANT DIVERSITY**  
Total Site Acreage = 22.55 Acres  
Conceptual Proposed Disturbed Acreage = 22.08 Acres  
0 Acres Undisturbed  
No Required Zoning Buffer  
Conceptual Proposed Tree Save Area = 8.10 Acres



Approximate Area of Existing Vegetation, Type



Approximate Area of Existing Vegetation, Type



PLANNING  
DATE: 11/15/2017  
SCALE: 1" = 40'

**MILL CREEK RESIDENTIAL**  
3715 AND HIBBIE POWER RD, 306.51E AC  
PHONE: 404.682.7272

**amondo**  
LANDSCAPE ARCHITECTURE  
1000 W. BIRCHWOOD DR. SUITE 100  
DUBLIN, GA 31028  
404.487.8800

**PRELIMINARY TREE MANAGEMENT PLAN  
FOR  
AMAVI COWETA**  
1000 W. BIRCHWOOD DR. SUITE 100  
DUBLIN, GA 31028

DATE: 11/15/2017  
DRAWN: JLV  
CHECKED: JLV  
SCALE: 1" = 40'  
SHEET: 01  
PROJECT: PTM



City of Newnan  
Attachment F

### Preliminary Tree Management Minimum Elements

---

A Preliminary Tree Management Plan must include, at a minimum, the following:

- Graphic representation of existing tree canopy
- Descriptive written or labelling information about existing tree canopy
- Total number of acres
- Number of disturbed acres
- Number of acres within any undevelopable portion, i.e. utility easements, floodplains, ponds, streams and stream buffers, etc.
- Graphic display and label any required or proffered zoning buffers. Provide acreage.
- Number of actual tree save acreage not including any of the categories listed above.
- Provide detailed and graphic descriptions of all tree save areas and how tree save areas will be safeguarded and protected.



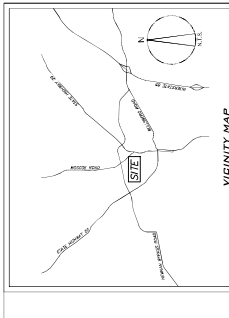


City of Newnan, Georgia  
Attachment E  
**Rezoning Checklist**

The following is a checklist of information required for the submittal of a rezoning application. The Planning & Zoning Department will not accept an incomplete application.

- Completed application form
- Letter of intent
- Names and addresses of all owners of all property within 250 feet of the subject property
- Legal description of property
- Certified plat
- Concept Plan
- Preliminary Tree Management Plan
- Completed Attachment A – Proffered Conditions (if applicable)
- Completed Attachment B – Disclosure of Campaign Contributions & Gifts (if applicable)
- Completed Attachment C – Property Owner's Authorization (if applicable)
- Completed Attachment D – Attorney's Authorization (if applicable)
- Community Impact Study (if applicable)
- Filing Fee in the form of a check payable to the **City of Newnan**

**Note:** Please attach this form to the filing application.



**SURVEY NOTES**

1. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
2. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
3. ALL MEASUREMENTS WERE MADE USING A REAL TIME KINEMATIC (RTK) GPS SYSTEM.
4. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
5. DISTANCES SHOWN HEREON ARE HORIZONTAL AND DO NOT TAKE INTO ACCOUNT CURVATURE OF THE EARTH.

**SURVEY DATA**

1. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
2. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
3. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
4. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
5. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.

**NOTES**

THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.

**RECORD LEGAL DESCRIPTION**

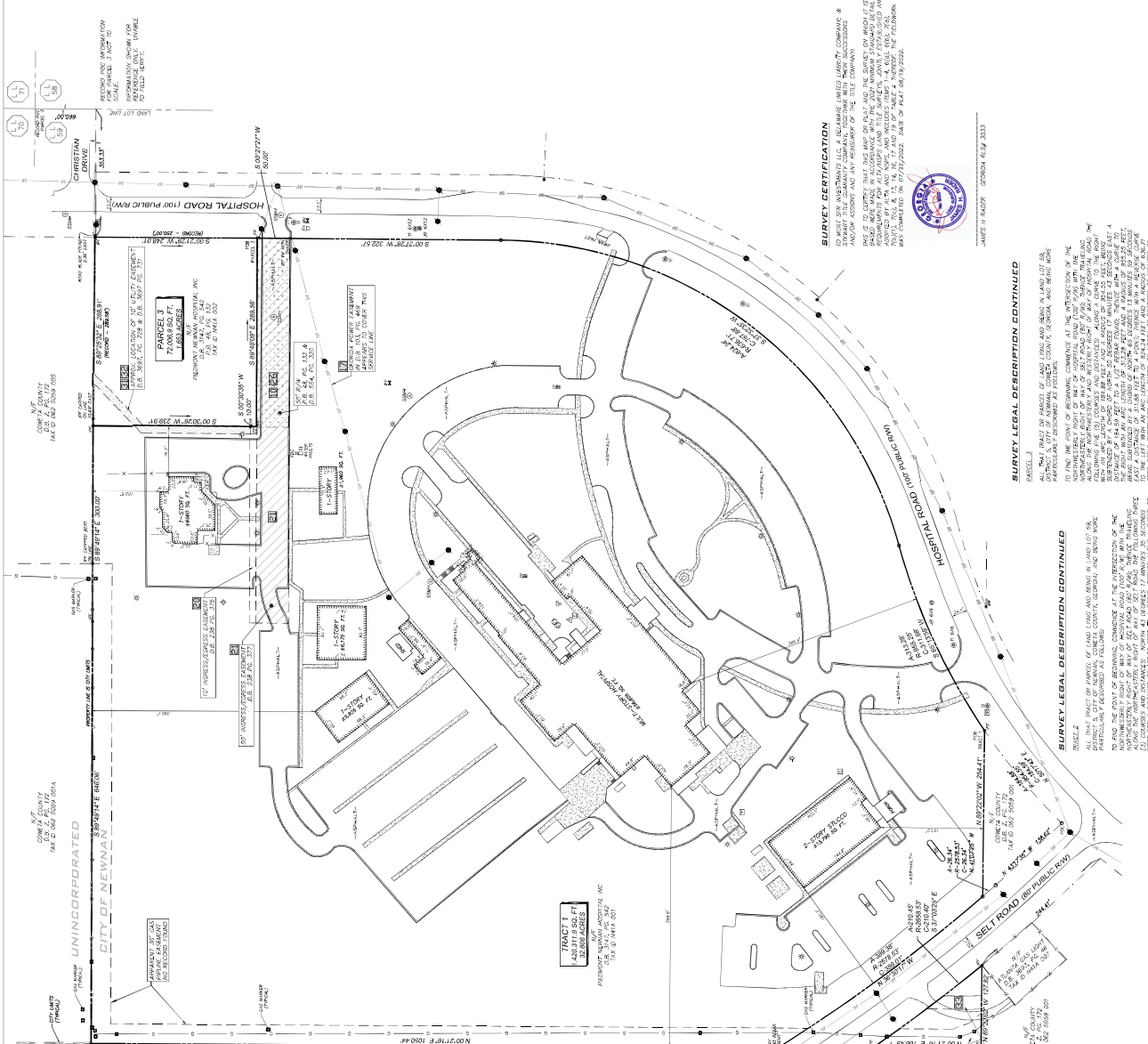
ALL THAT TRACT OF LAND BEING PART OF THE SURVEY OF THE CITY OF NEVADA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**SURVEY CERTIFICATION**

I, THE SURVEYOR, HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY AS CONDUCTED BY ME OR UNDER MY SUPERVISION AND IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.

**SURVEY LEGAL DESCRIPTION CONTINUED**

ALL THAT TRACT OF LAND BEING PART OF THE SURVEY OF THE CITY OF NEVADA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:



1. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
2. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
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5. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.

**TITLE EXCEPTIONS**

1. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
2. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
3. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
4. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.
5. THE SURVEY WAS CONDUCTED ON THE BASIS OF THE RECORDS OF THE SURVEYING AND MAPPING INDUSTRY AND THE SURVEYING AND MAPPING ACT OF 1992.

**POSSIBLE ENCROACHMENTS**

THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE SURVEYED PROPERTY AND HAS IDENTIFIED THE FOLLOWING POSSIBLE ENCROACHMENTS:

**SURVEY LEGAL DESCRIPTION CONTINUED**

ALL THAT TRACT OF LAND BEING PART OF THE SURVEY OF THE CITY OF NEVADA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**SURVEY LEGAL DESCRIPTION CONTINUED**

ALL THAT TRACT OF LAND BEING PART OF THE SURVEY OF THE CITY OF NEVADA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	BOUNDARY LINE
[Symbol]	PROPERTY LINE
[Symbol]	ADJACENT PROPERTY
[Symbol]	EXISTING BUILDING
[Symbol]	PROPOSED BUILDING
[Symbol]	UTILITY LINE
[Symbol]	ROAD CENTERLINE
[Symbol]	RAILROAD CENTERLINE
[Symbol]	WATERWAY CENTERLINE
[Symbol]	ADJACENT ROAD CENTERLINE
[Symbol]	ADJACENT RAILROAD CENTERLINE
[Symbol]	ADJACENT WATERWAY CENTERLINE
[Symbol]	ADJACENT PROPERTY CENTERLINE
[Symbol]	ADJACENT ROAD RIGHT-OF-WAY
[Symbol]	ADJACENT RAILROAD RIGHT-OF-WAY
[Symbol]	ADJACENT WATERWAY RIGHT-OF-WAY
[Symbol]	ADJACENT PROPERTY RIGHT-OF-WAY
[Symbol]	ADJACENT ROAD EASEMENT
[Symbol]	ADJACENT RAILROAD EASEMENT
[Symbol]	ADJACENT WATERWAY EASEMENT
[Symbol]	ADJACENT PROPERTY EASEMENT
[Symbol]	ADJACENT ROAD RIGHT-OF-WAY EASEMENT
[Symbol]	ADJACENT RAILROAD RIGHT-OF-WAY EASEMENT
[Symbol]	ADJACENT WATERWAY RIGHT-OF-WAY EASEMENT
[Symbol]	ADJACENT PROPERTY RIGHT-OF-WAY EASEMENT

**LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	BOUNDARY LINE
[Symbol]	PROPERTY LINE
[Symbol]	ADJACENT PROPERTY
[Symbol]	EXISTING BUILDING
[Symbol]	PROPOSED BUILDING
[Symbol]	UTILITY LINE
[Symbol]	ROAD CENTERLINE
[Symbol]	RAILROAD CENTERLINE
[Symbol]	WATERWAY CENTERLINE
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[Symbol]	ADJACENT RAILROAD CENTERLINE
[Symbol]	ADJACENT WATERWAY CENTERLINE
[Symbol]	ADJACENT PROPERTY CENTERLINE
[Symbol]	ADJACENT ROAD RIGHT-OF-WAY
[Symbol]	ADJACENT RAILROAD RIGHT-OF-WAY
[Symbol]	ADJACENT WATERWAY RIGHT-OF-WAY
[Symbol]	ADJACENT PROPERTY RIGHT-OF-WAY
[Symbol]	ADJACENT ROAD EASEMENT
[Symbol]	ADJACENT RAILROAD EASEMENT
[Symbol]	ADJACENT WATERWAY EASEMENT
[Symbol]	ADJACENT PROPERTY EASEMENT
[Symbol]	ADJACENT ROAD RIGHT-OF-WAY EASEMENT
[Symbol]	ADJACENT RAILROAD RIGHT-OF-WAY EASEMENT
[Symbol]	ADJACENT WATERWAY RIGHT-OF-WAY EASEMENT
[Symbol]	ADJACENT PROPERTY RIGHT-OF-WAY EASEMENT

SURVEY LEGAL DESCRIPTION

TRACT 1

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 59, DISTRICT 5, CITY OF NEWNAN, COWETA COUNTY, GEORGIA; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD (100' R/W) WITH THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD (80' R/W); THENCE TRAVELING ALONG THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 184.88 FEET AND A RADIUS OF 954.55 FEET, BEING SUBTENDED BY A CHORD OF NORTH 50 DEGREES 17 MINUTES 43 SECONDS EAST A DISTANCE OF 184.59 FEET TO A 1/2" REBAR FOUND, SAID POINT BEING THE POINT OF BEGINNING;

THENCE LEAVING SAID RIGHT OF WAY NORTH 89 DEGREES 22 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 254.41 FEET TO A POINT ON THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD; THENCE TRAVELING ALONG SAID RIGHT OF WAY ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 389.38 FEET AND A RADIUS OF 2578.53 FEET, BEING SUBTENDED BY A CHORD OF NORTH 36 DEGREES 30 MINUTES 17 SECONDS WEST A DISTANCE OF 389.01 FEET TO A 3/8" BENT REBAR FOUND; THENCE LEAVING SAID RIGHT OF WAY NORTH 00 DEGREES 21 MINUTES 16 SECONDS EAST FOR A DISTANCE OF 1050.44 FEET TO A CAPPED REBAR FOUND; THENCE SOUTH 89 DEGREES 49 MINUTES 14 SECONDS EAST FOR A DISTANCE OF 646.06 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 89 DEGREES 49 MINUTES 14 SECONDS EAST FOR A DISTANCE OF 300.00 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 00 DEGREES 30 MINUTES 26 SECONDS WEST FOR A DISTANCE OF 239.91 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 00 DEGREES 30 MINUTES 35 SECONDS WEST FOR A DISTANCE OF 10.00 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 89 DEGREES 48 MINUTES 09 SECONDS EAST FOR A DISTANCE OF 289.56 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY OF HOSPITAL ROAD; THENCE TRAVELING ALONG THE WESTERLY AND NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD THE FOLLOWING FOUR (4) COURSES AND DISTANCES: SOUTH 00 DEGREES 27 MINUTES 27 SECONDS WEST FOR A DISTANCE OF 50.00 FEET TO A NAIL WITH SHINER FOUND; THENCE SOUTH 00 DEGREES 27 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 322.57 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 824.24 FEET AND A RADIUS OF 636.71 FEET, BEING SUBTENDED BY A CHORD OF SOUTH 37 DEGREES 32 MINUTES 35 SECONDS WEST A DISTANCE OF 767.88 FEET TO A POINT; THENCE WITH A REVERSE CURVE TO THE LEFT WITH AN ARC LENGTH OF 313.28 FEET AND A RADIUS OF 955.25 FEET, BEING SUBTENDED BY A CHORD OF SOUTH 65 DEGREES 13 MINUTES 59 SECONDS WEST A DISTANCE OF 311.88 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 32.606 ACRES AND IS DEPICTED ON THAT CERTAIN ALTA/NSPS PLAT OF SURVEY PREPARED BY LANDPRO SURVEYING AND MAPPING, INC., SEALED AND CERTIFIED BY JAMES H. RADER, GRLS NO. 3033, DATED AUGUST 19, 2022, REVISED SEPTEMBER 23, 2022.

TRACT 2

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 59, DISTRICT 5, CITY OF NEWNAN, COWETA COUNTY, GEORGIA; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD (100' R/W) WITH THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD (80' R/W); THENCE TRAVELING ALONG THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD THE FOLLOWING THREE (3) COURSES AND DISTANCES: NORTH 43 DEGREES 17 MINUTES 35 SECONDS WEST FOR A DISTANCE OF 138.82 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 26.34 FEET AND A RADIUS OF 2578.53 FEET, BEING SUBTENDED BY A CHORD OF NORTH 41 DEGREES 07 MINUTES 25 SECONDS WEST A DISTANCE OF 26.34 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 389.38 FEET AND A RADIUS OF 2578.53 FEET, BEING SUBTENDED BY A CHORD OF NORTH 36 DEGREES 30 MINUTES 17 SECONDS WEST A DISTANCE OF 389.01 FEET TO A 3/8" BENT REBAR FOUND; THENCE LEAVING SAID RIGHT OF WAY SOUTH 00 DEGREES 21 MINUTES 16 SECONDS WEST FOR A DISTANCE OF 143.62 FEET TO A 1/2" REBAR FOUND ON THE SOUTHWESTERLY RIGHT OF WAY OF SELT ROAD, SAID POINT BEING THE POINT OF BEGINNING;

THENCE TRAVELING ALONG THE SOUTHWESTERLY RIGHT OF WAY OF SELT ROAD ALONG A CURVE TO THE LEFT WITH AN ARC LENGTH OF 210.45 FEET AND A RADIUS OF 2658.53 FEET, BEING SUBTENDED BY A CHORD OF SOUTH 37 DEGREES 03 MINUTES 25 SECONDS EAST A DISTANCE OF 210.40 FEET TO A 1/2" REBAR FOUND; THENCE LEAVING SAID RIGHT OF WAY NORTH 89 DEGREES 22 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 127.82 FEET TO A 1/2" REBAR FOUND; THENCE NORTH 00 DEGREES 21 MINUTES 16 SECONDS EAST FOR A DISTANCE OF 166.49 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 0.238 ACRES AND IS DEPICTED ON THAT CERTAIN ALTA/NSPS PLAT OF SURVEY PREPARED BY LANDPRO SURVEYING AND MAPPING, INC., SEALED AND CERTIFIED BY JAMES H. RADER, GRLS NO. 3033, DATED AUGUST 19, 2022, REVISED SEPTEMBER 23, 2022.

PARCEL 3

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 59, DISTRICT 5, CITY OF NEWNAN, COWETA COUNTY, GEORGIA; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY OF HOSPITAL ROAD (100' R/W) WITH THE NORTHEASTERLY RIGHT OF WAY OF SELT ROAD (80' R/W); THENCE TRAVELING ALONG THE NORTHWESTERLY AND WESTERLY RIGHT OF WAY OF HOSPITAL ROAD THE FOLLOWING FIVE (5) COURSES AND DISTANCES: ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 184.88 FEET AND A RADIUS OF 954.55 FEET, BEING SUBTENDED BY A CHORD OF NORTH 50 DEGREES 17 MINUTES 43 SECONDS EAST A DISTANCE OF 184.59 FEET TO A 1/2" REBAR FOUND; THENCE WITH A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 313.28 FEET AND A RADIUS OF 955.25 FEET, BEING SUBTENDED BY A CHORD OF NORTH 65 DEGREES 13 MINUTES 59 SECONDS EAST A DISTANCE OF 311.88 FEET TO A POINT; THENCE WITH A REVERSE CURVE TO THE LEFT WITH AN ARC LENGTH OF 824.24 FEET AND A RADIUS OF 636.71 FEET, BEING SUBTENDED BY A CHORD OF NORTH 37 DEGREES 32 MINUTES 35 SECONDS EAST A DISTANCE OF 767.88 FEET TO A POINT; THENCE NORTH 00 DEGREES 27 MINUTES 28 SECONDS EAST FOR A DISTANCE OF 322.57 FEET TO A NAIL WITH SHINER FOUND; NORTH 00 DEGREES 27 MINUTES 27 SECONDS EAST FOR A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING;

THENCE LEAVING SAID RIGHT OF WAY NORTH 89 DEGREES 48 MINUTES 09 SECONDS WEST FOR A DISTANCE OF 289.56 FEET TO A 1/2" REBAR FOUND; THENCE NORTH 00 DEGREES 30 MINUTES 35 SECONDS EAST FOR A DISTANCE OF 10.00 FEET TO A 1/2" REBAR FOUND; THENCE NORTH 00 DEGREES 30 MINUTES 26 SECONDS EAST FOR A DISTANCE OF 239.91 FEET TO A 1/2" REBAR FOUND; THENCE SOUTH 89 DEGREES 25 MINUTES 32 SECONDS EAST FOR A DISTANCE OF 288.91 FEET TO A 1/2" REBAR FOUND ON THE WESTERLY RIGHT OF WAY OF HOSPITAL ROAD; THENCE TRAVELING ALONG SAID RIGHT OF WAY SOUTH 00 DEGREES 21 MINUTES 29 SECONDS WEST FOR A DISTANCE OF 248.01 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 1.653 ACRES AND IS DEPICTED ON THAT CERTAIN ALTA/NSPS PLAT OF SURVEY PREPARED BY LANDPRO SURVEYING AND MAPPING, INC., SEALED AND CERTIFIED BY JAMES H. RADER, GRLS NO. 3033, DATED AUGUST 19, 2022, REVISED SEPTEMBER 23, 2022.

THE PROPERTY IS THE SAME PROPERTY AS REFERENCED IN THAT TITLE COMMITMENT NO. 220000140280 BY STEWART TITLE GUARANTY COMPANY WITH AN EFFECTIVE DATE OF JULY 19, 2022 @ 8:00 a.m.



# The City of Newnan, Georgia

Office of the City Engineer

December 9, 2022

Engineering Review

REZONING REQUEST: 60 Hospital Road, Newnan, GA 30263

## Development:

1. The development shall be designed in accordance with all standard development details as shown or described in the Review Checklists for the City of Newnan.
2. For any details not specifically shown or described in the Review Checklists for the City of Newnan, refer to the general details and standards for the Georgia Department of Transportation.

## Environmental:

1. The development plan shall follow the design standards and guidance per the Georgia Storm Water Management Manual, in compliance with the **Post-Development Stormwater Management Ordinance** for the City of Newnan.
2. The development plan shall include a three-phase erosion control plan in compliance with the **City of Newnan Soil Erosion, Sedimentation and Pollution Control Ordinance**.
3. All streams, wetlands and other environmentally sensitive areas such as floodplain and floodway shall be delineated and located within open space to the extent practically possible. A flood study may be required. The development plan shall be in compliance with the **Floodplain Management and Flood Damage Prevention Ordinance** for the City of Newnan.

Prior to issuance of a permit for conducting land disturbing activities, documentation and or/ sufficient evidence must be provided to the City of Newnan, as the Local Issuing Authority, regarding any required mitigations measures, permits with the United States Army Corps of Engineers (404 Permit), or the Federal Emergency Management Agency.

4. Standard stream buffers apply. Reference is made to the **City of Newnan, Georgia Stream Buffer Protection Ordinance**.

## Transportation:

1. The development shall have two entrances per the Subdivision Regulations since the proposed lot count is more than 25 lots. As shown in the concept, a primary entrance

shall be granted full access; the secondary entrance shall be Right-In-Right-Out only, and a physical barrier shall be constructed with the secondary entrance to prevent illegal left turns into the community.

2. Right turn lanes shall be provided at each entrance, a left turn lane shall be provided at the full access entrance, and a right turn lane shall be provided at Road A at the intersection of Hospital Road, in accordance with the recommendations in the **Traffic Impact Study** prepared by Lumin8, dated November 11, 2022.
3. Coordinate signal timing plans for the signals at SR 16/ 34 and SR 34 Bypass with the Georgia Department of Transportation.
4. No monuments or other traffic hazards shall be located within the Right-of-Way for any public streets, including the two medians shown at Road A.
5. ADA compliant five (5) foot sidewalks shall be provided on both sides of the streets throughout the community. Sidewalk access shall be provided to the Right-of-Way for Hospital Road and extended along Hospital Road the full length of the parcel abutting Hospital Road. Additionally, sidewalk shall be provided along Selt Road for the full length of the parcel abutting Selt Road. A connection between the sidewalk along Selt Road and Hospital Road shall be made within the Right-of-Way for each with an ADA compliant ramp at the intersection. This connection is not shown in the concept.
6. Any facilities open to the general public shall be ADA accessible.
7. Thermoplastic striping shall be required for all pavement markings within the Right-of-Way, including any parking stalls.
8. A **Traffic Impact Study** has been received and reviewed. Please address the intersection of Christian Drive and Hospital Road or explain why that intersection is not relevant. Obtain relevant approval signatures per the **Traffic Impact Study**.

Respectively,

*Michael Klahr*

William M. Klahr, P.E., CFM  
Director of Engineering

# TRAFFIC IMPACT STUDY

Prepared For

**INTERGRATED SCIENCE & ENGINEERING**

**HOSPITAL ROAD RESIDENTIAL DEVELOPMENT  
NEWNAN, GA**

November 11, 2022





# SUMMARY OF FINDINGS

- The proposed Hospital Road residential development is proposed to consist of 88 single family detached homes and 133 townhomes on approximately 33 acres. It was assumed that the development would be built-out by 2026.
- The site plan proposed for two driveways on Hospital Road, with Driveway #1 proposed to be full access opposite the Newnan Family Medicine driveway and Driveway #2 proposed to be a right-in, right out (RIRO).
- There is a planned 199-unit single family residential development on the SR 34 Bypass called the Greystone residential development. The development is currently scheduled to be built-out by 2027. Lumin8 conducted a traffic study in 2022 that projected volumes at several nearby intersections, including the SR 34 Bypass and Hospital Road. The volumes and the findings of the study were included in the future conditions.
- Turning Movement Counts (TMCs) were conducted at the study intersections on Tuesday, September 27, 2022 from 7:00 AM to 9:00 AM and 2:00 PM to 6:00 PM. The observed peak hours are 7:30 to 8:30 AM, 3:30 to 4:30 PM, and 5:00 to 6:00 PM.
- An Automatic Traffic Recorder (ATR) was placed on Hospital Road between Selt Road and Evans Drive to collect bi-directional traffic data on Tuesday, September 27, 2022. Bi-directional ATR data was collected to record daily volumes, truck percentages, and 85<sup>th</sup> percentile speeds.
  - Northbound: 85<sup>th</sup> percentile speed of 41 mph, daily volume of 3,885 vehicles per day, and truck percentage of 6.1%
  - Southbound: 85<sup>th</sup> percentile speed of 43 mph, daily volume of 3,260 vehicles per day, and truck percentage of 6.6%
- Safety evaluations were performed for the study intersections in the form of crash analyses for the past five years. According to the crash history, rear end collisions are the most prominent type of crash, accounting for 109 of the 196 collisions (56%) in the past five years. No fatalities were reported during this time period.
- Norfolk Southern Railway Company operates through Coweta County crossing Franklin Road (SR 34) at railroad crossing #719218K. The crossing sees two trains a day with a maximum speed of 25 mph.
- Based on census data and GDOT count station data, an annual growth rate of 1.0% was established for the study.

- The residential development is projected to generate 1,898 new trips (949 entering, 949 exiting), with 130 AM Peak Hour trips (31 entering, 99 exiting), 133 School Peak Hour trips (84 entering, 49 exiting), and 166 PM Peak Hour trips (105 entering, 61 exiting).
- Based on GDOT criteria, the following movements meet the threshold for turn lanes:
  - Northbound left turn lane at the intersection of Hospital Road and Driveway #1.
  - Southbound right turn lane at the intersection of Hospital Road and Driveway #1.
  - Eastbound left and right turn lanes at the intersection of Hospital Road and Driveway #1.
  - Southbound right turn lane at the intersection of Hospital Road and Driveway #2.
- As part of the Greystone development traffic study, recommendations were made at the intersection of SR 34 Bypass and Hospital Road to improve the operation with the proposed fourth leg. These improvements were evaluated in the 2046 N0-Build and Build scenarios.
- Under Existing conditions, capacity analysis results indicate that each intersection currently operates at LOS ‘D’ or better during both peak hours except for Hospital Road and Evans Drive, which operates at LOS ‘E’ on the westbound approach during the PM Peak Hour.
- Under No-Build conditions, capacity analysis results indicate that each intersection is projected to operate at LOS ‘D’ or better during both peak hours except for the following intersections:
  - Hospital Road and Evans Drive, which is projected to operate at LOS ‘E’ or worse on the westbound approach during the PM Peak Hour by 2026 and the School Peak Hour by 2046, as well as the eastbound left movement during the PM Peak Hour by 2026.
  - Temple Avenue and Hospital Road/Franklin Road, which is projected to operate at LOS ‘E’ in the PM Peak Hour by 2046.
- Under Build conditions, capacity analysis results indicate that each intersection is projected to operate at LOS ‘D’ or better during both peak hours except for the following intersections:
  - Hospital Road and Evans Drive, which is projected to operate at LOS ‘E’ or worse on the westbound approach and eastbound left movement during the PM Peak Hour by 2026 and the School Peak Hour by 2046.
  - Temple Avenue and Hospital Road/Franklin Road, which is projected to operate at LOS ‘E’ in the PM Peak Hour by 2046.

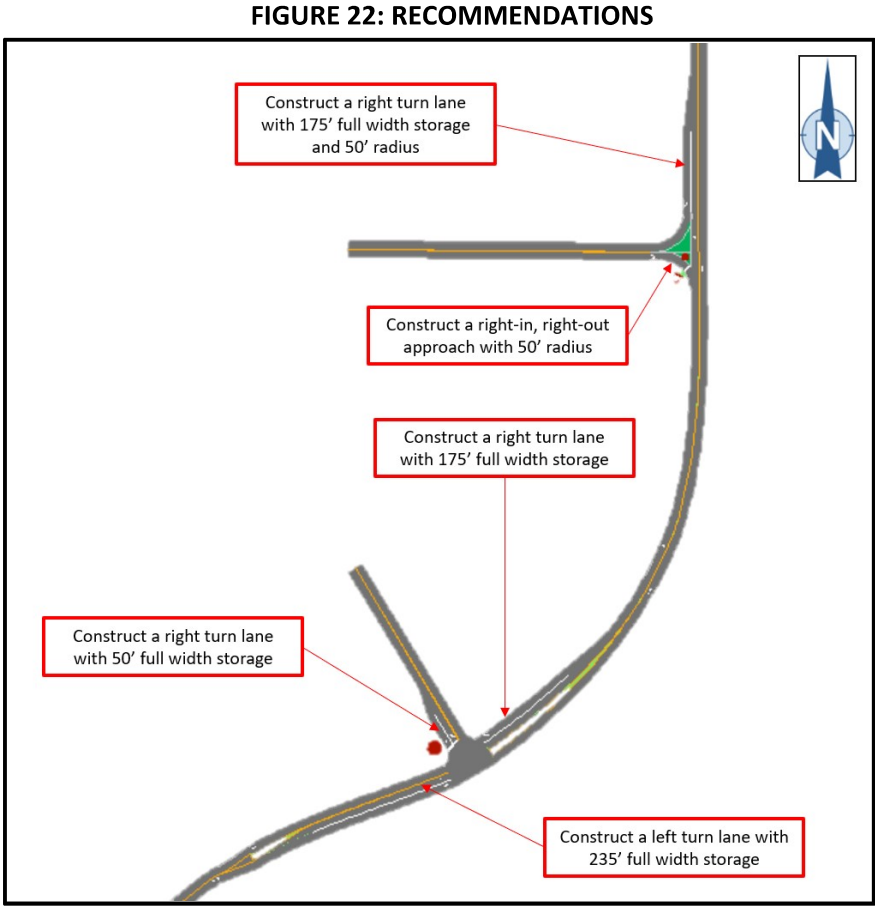
- Although the intersection of Hospital Road and Evans Drive experiences unacceptable operation during some of the Peak Hours beginning in 2026, the side street volumes are low and do not experience significant queueing. Therefore, it is recommended that this intersection remain under minor street stop control.
- The following intersections were waived from the ICE tool evaluation since they are not projected to be adversely affected by the proposed development in the Build conditions.
  - SR 34 Bypass and Hospital Road
  - Temple Avenue (SR 16/US 27 ALT) and Hospital Road/Franklin Road (SR 34)
- Timing improvements were evaluated at the signalized intersection of Temple Avenue and Hospital Road/Franklin Road to improve operation and queuing. The following timing improvements were implemented at each of the intersections:
  - 2026 AM: Implement 100 second cycle and optimize splits.
  - 2026 School: Implement 100 second cycle and optimize splits.
  - 2026 PM: Implement 100 second cycle and optimize splits.
  - 2046 AM: Implement 110 second cycle and optimize splits.
  - 2046 School: Implement 110 second cycle and optimize splits.
  - 2046 PM: Implement 120 second cycle and optimize splits.
- Although the other signalized intersections along Temple Avenue were not analyzed as part of this study, these intersections should be coordinated with Temple Avenue and Hospital Road/Franklin Road.

# RECOMMENDATIONS

Based on the findings from the study, the recommendations are as follows:

- Hospital Road and Driveway #1
  - Construct Driveway #1 with a left and right approach.
  - Construct the eastbound right turn lane with 50 feet full width storage.
  - Construct a northbound left turn lane with 235 feet full width storage.
  - Construct a southbound right turn lane with 175 feet full width storage.
- Hospital Road and Driveway #2
  - Construct Driveway #2 as a right-in, right-out approach with 50-foot turning radius.
  - Construct a southbound right turn lane with 175 feet will width storage and 50-foot turning radius.
- Temple Avenue and Hospital Road/Franklin Road
  - Implement time-of-day plans and coordinate with the other signalized intersections on Temple Avenue. The timing should be readjusted every couple of years.

Figure 22 below shows the project recommendations.





**PREPARED BY:** \_\_\_\_\_

Date: 11/11/2022

**Speedy Boutwell, PE, PTOE**

**RECOMMENDED BY:** \_\_\_\_\_

Date: \_\_\_\_\_

City of Newnan

**RECOMMENDED BY:** \_\_\_\_\_

Date: \_\_\_\_\_

District Traffic Engineer

**RECOMMENDED BY:** \_\_\_\_\_

Date: \_\_\_\_\_

State Traffic Engineer

**APPROVED BY:** \_\_\_\_\_

Date: \_\_\_\_\_

Director of Operations

## Dean Smith

---

**From:** smith Pass <smithpass52@gmail.com>  
**Sent:** Friday, December 9, 2022 4:50 PM  
**To:** Dean Smith  
**Subject:** Proposed Rezoning

Good Evening,

My husband and I have lived on Brookwood Drive for 40 years. We have lived in Newnan for 45 years. As you can imagine we have seen quite a bit of growth in that time.

I'm writing to weigh in on the proposed Re zoning on Hospital Road.

There are many concerns that come with the density proposed....schools, infrastructure, the fact that they would be rentals....

Our side of town needs good development and this doesn't seem to be that.

Thanks for listening.

Smith Pass

## Dean Smith

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**From:** pkle2new@gmail.com  
**Sent:** Wednesday, December 14, 2022 5:58 PM  
**To:** Dean Smith  
**Subject:** FW: proposed development for old hospital property

Mr. Dean Smith,

We would like to register our opinion about the proposed development of the old hospital property on Hospital Road. We very strongly oppose the project for several reasons.

Our neighborhood has been a very sought after area in which to live. The residents here work hard to keep it that way. This plan would have an extremely detrimental effect on our neighborhood.

The plan calls for an extremely dense development per acre of the property, and the plan calls for all of these homes to be rental properties. In no way could this plan be good for the surrounding neighborhoods. It would have a negative impact on the neighborhood schools and traffic in the surrounding area. Hospital Road is not built to support that amount of increased daily traffic. Just the recent simple resurfacing of Hospital Road caused major inconvenience and increased traffic through nearby neighborhoods. Law enforcement and emergency services would also be negatively impacted.

We have witnessed what negative impact construction can do to the surrounding areas. Newnan already has an abundance of apartments, with more and more currently being built. We are very concerned about Newnan losing the quality of life our City enjoys, a quality that the Planning Commission has guarded and maintained for years. Please don't let that end now.

Respectfully,  
Pam and Bobby Lee  
2 Lakeview Drive  
Newnan

---

**From:** MacNabb <macnabbs@numail.org>  
**Sent:** Thursday, December 15, 2022 2:13 PM  
**To:** clay.mcentire@gmail.com; fredhamlin3@yahoo.com; rwc@numail.org; joejr@crainoil.net  
**Cc:** Tracy Dunnavant <TDunnavant@newnanga.gov>  
**Subject:** Mill Creek Residential

Gentlemen:

Please deny the application of Mill Creek Residential to Amend the Zoning Ordinance from OI-1 to PDR, concerning 34.497+/- Acres located at 90 Hospital Road, Newnan, Georgia. The proposed development, being rental houses of extremely high density and less than 1.5 miles from the neighborhood of Featherston Heights where we live, will have an adverse effect of monumental proportions on the quality life for us and our neighbors, especially as it affects traffic, the two award-winning schools nearby, and property values.

Allowing developments of this type in our wonderful city is short-sighted and detrimental to its tradition of being a city of beautiful homes.

Sincerely,

Joe MacNabb



**From:** Bernie Parks <[bernieparks3@gmail.com](mailto:bernieparks3@gmail.com)>

**Date:** December 15, 2022 at 12:10:12 PM EST

**To:** [fredhamlin3@yahoo.com](mailto:fredhamlin3@yahoo.com)

**Subject:** Coweta General Property

Mr. Hamlin,

The eastern area of the county, now encroaching Greison Trail and Sprayberry Road, is already a disaster with a sea of apartments and high-density housing. The news of the development of the old Coweta General Hospital property into over two hundred housing units is most distressing. Please do not approve this proposal; consider the surrounding neighborhoods and the horrendous impact on our school and infrastructure. It's in YOUR hands, do the right thing.

1

Bernie Parks  
40 Parks Ave  
770-301-6412

Sent from my iPad

**From:** Cliff Cranford <[cacjrmd@yahoo.com](mailto:cacjrmd@yahoo.com)>  
**Date:** December 15, 2022 at 12:33:24 PM EST  
**To:** [fredhamlin3@yahoo.com](mailto:fredhamlin3@yahoo.com)  
**Subject: Blocking High Density Project**

Boo, Cliff Cranford here- I am asking for your support in blocking the project proposed for the old hospital on Hospital Rd. The meeting is 12/20 and we plan to be there and we obviously

1

oppose this project in our backyard. Thanks for your consideration, Merry Christmas

[Sent from Yahoo Mail for iPhone](#)

**From:** Dana Camp <[danerlou@gmail.com](mailto:danerlou@gmail.com)>  
**Date:** December 15, 2022 at 2:42:49 PM EST  
**To:** [fredhamlin3@yahoo.com](mailto:fredhamlin3@yahoo.com)  
**Subject:** Hospital Rd

Hello,

I am against the rezoning of Hospital Rd.

1

My name is Daniel Barrett and I am writing on behalf of myself and my family. I have been a resident of Featherston Heights for over 12 years. I chose this neighborhood for its unique charm, friendly neighbors and quaint feel. I have thoroughly enjoyed raising my children in this neighborhood, allowing them to play freely with friends, visit relatives and explore like all children should be able to. Our neighborhood is tight knit and we look out for one another. We have relatively low crime in our neighborhood and our children feel free to walk or ride their bikes to our neighborhood school, Elm Street Elementary School. I enjoy living in this neighborhood so much that once my father passed, I moved my elderly mother into the neighborhood so she could be closer to her family and get to experience the wonderful people that live in our little slice of Newnan.

That said, I'm desperately afraid that the proposed redevelopment of the old Newnan Hospital site will have a significant impact on our neighborhood. Our neighborhood is already surrounded on every side by apartment complexes. We have the Valleybrook Apartments, Brighton Farms Apartments, Rolling Hills Apartments, Overby Park Apartments, Tranquil Villas Apartments, Sprayberry Estates, Winthrop Apartments, The apartments at 150 Jackson Street, Newnan Estates, Wood Trail Apartments, Residences on Clark, the apartments at 9 Dixon Street, the apartments at 18 Powell Place and the Hospital Road Apartments.

That is 14 different apartment complexes within 500 feet or less of every entrance to our neighborhood. I would say, given the already saturated rental market in this area in particular and the city as a whole that yet another rental property is wildly unnecessary and will not benefit our city or our beloved neighborhood in any conceivable way.

Additionally, given the generally safe nature of our neighborhood, I would also encourage you to think about the risk of crime. While our neighborhood is fairly safe and registers little crime, most of the crime that does occur in our neighborhood can be traced back to people who inhabit the apartment complexes in the area. We have had homeless encampments, vandalism, stolen packages, cars broken into, and dangerous speeding all related to people who live in the apartments that surround our neighborhood. Only just this past week a man was shot at an apartment complex less than a mile and a half from our neighborhood in what is considered a new, "high end" apartment complex.

Frankly, our city does not need more massive apartment complexes. In a city where we already have a higher number of apartments than the state and national average, we simply don't need more. My wife and I moved to Newnan nearly 20 years ago because we believed in what Newnan was selling. A great place to raise your kids, with modern amenities, extremely low crime, stable real estate markets, great schools and plans for measured, well thought out growth. Newnan has long been a shining example in West Georgia of what is possible in a community that wants to retain its small town feel while also having modern, suburban amenities. We don't just live here, we do business here as well. My wife owns a small business downtown and I teach at Northgate High School. My wife hopes to pass that business along to one or both of our daughters one day. We want them to come back home to Newnan. In other words, we bought in.

I still remember my grandmother telling me a story about how she came to Newnan one time to visit some family that lived here. She spoke of good people, living in fine, beautiful homes. She was so proud when I told her I was moving here, because her whole life, she always associated Newnan with the wonderful things she saw that day as a child in the mid 1930s. It is my

profound hope that Newnan doesn't have to change its sign on the Carnegie Library from the City of Homes to the City of Apartment Complexes. We need slow, measured, planned growth, with people who want to buy in; not a feeding frenzy that turned Gwinnett, Henry, Douglas and Cobb Counties into overgrown, bloated, congested, urban nightmares and Clayton County into a wasteland of worthless real estate, high crime and failing schools.

I hope you will stand with the residents of Featherston Heights and the City of Newnan and vote no on this aberration so it doesn't cause further damage to our community.

Best,

Daniel and Amanda Barrett

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Daniel Barrett

706.346.3677

[jdanielbarrett@gmail.com](mailto:jdanielbarrett@gmail.com)

**From:** Harriett Palmer <[hariett.palmer@gmail.com](mailto:hariett.palmer@gmail.com)>

**Date:** December 15, 2022 at 2:31:53 PM EST

**To:** Boo Hamlin <[fredhamlin3@yahoo.com](mailto:fredhamlin3@yahoo.com)>

**Subject: Rezoning proposal for Hospital Road**

Boo, I am very much opposed to this. There are so many concerns regarding it including the traffic on Temple it will create. It is already so hard to make a left onto Dixon in late afternoon. Harriett

Sent from my iPad



On Monday, December 19, 2022 at 05:37:59 PM EST, Hallie Flournoy <h.y.flournoy@gmail.com> wrote:

Bo,

I am opposed to the proposed development on Hospital road. I truly don't think it will be good for our community!!!

Thanks

Hallie Flournoy

Sent from my iPhone

Dear Mr. Hamlin –

Please note my family's strong opposition to the redevelopment plan being presented tomorrow to the Newnan Planning Commission.

We do not believe this to be the type, quality, or density our area needs. Newnan has approved a significant number of rental properties and we would instead prefer additional single-family homes in this part of Newnan. Our family urges you to reject this plan and keep Newnan the "City of Homes". Please reach out if you have further questions.

Best regards,

Jeffrey & Ashley Elder

105 Pickens Drive

**From:** frank@hrtg.org

**Date:** December 19, 2022 at 3:46:57 PM EST

**To:** clay.mcintire@gmail.com, fredhamlin3@yahoo.com, rwc@numail.org, joejr@crainoil.net

**Subject:** Rezoning Application for property on Hospital Road

Good afternoon,

I am opposed to the rezoning of the property on Hospital Road. This high density rental property is not needed by the City of Newnan. It will have a negative impact in many ways. I believe our school system would be impacted negatively in years to come. Traffic in the area will also be impacted and there is a middle school right by the property. There is more than enough rental property in the area. Take a drive down Roscoe Rd headed to Jackson St. and then a right onto Jackson St. following Jackson until you get to Clark St. and take another right. Go all the way down and then turn right back onto Hospital Rd. How many apartment buildings did you see. They are numerous and all within a mile or two of the proposed property you will consider to be rezoned as RENTAL PROPERTY. Here are some but probably not all of the rental properties on that short route (Some names might have changed). Hospital Rd. Apt LLC 81 Hospital Rd.; 169 Roscoe Rd. Valleybrook/Cardinal ; Rolling Hills 104 Rolling Hills Dr.(off Roscoe Rd) ; Brighton Farms (old Colony Creek Apts.) 80 Christian Dr. ;Tranquil Villas Sprayberry Rd (right off Jackson St.) ; Garden Apt Properties 144 Jackson St. ; Woodland Arms Apts. 150 Jackson St. ; Huntington Apt. )Old Winthrop Apt) 204 Jackson St. ; The Forest Glen Apts. 53 Newnan Estates Dr.: Jackson Landing Newnan Estates Dr. ; Wood Trail Apts 247 Jackson St. ; VP Capital Partners (" Dr. Bass Apts) 50 Clark St. ; Aerotropolis Group LLC Apts 2 Carmichael St. (corner of Carmichael and Clark St.) ; Apartments on old Temple Ave that merges with Clark St. (name ?) ; Elm View LLC Apt 9 Dixon St. (Off Clark/Temple Ave.) Old Cranford Arms Apts. (Off Dixon St. across from Elm St. School) Note: Many rental houses on Dixon Street too. Is the CITY OF HOMES being renamed THE CITY OF RENTAL PROPERTY? The City of Newnan continues to annex county property into the city limits for higher density developments. Some are residential and some rental. Neither is good for our town. We have enough. Drive around other parts of Newnan. Apartments are everywhere. Please put the brakes in this development on Hospital Road by voting no. Thank you for your time and consideration of my request.

Sincerely,

Frank M. Farmer  
28 Brookside Dr.  
Newnan, GA 30263  
770-251-0498

**Subject: Rezoning of Property on Hospital Road**

**Reply-To: tjmoat@aol.com**

Re: Rezoning of 34.5 acres on Hospital Road in the City of Newnan for the construction of 221 unspecified rental housing units.

Without knowing the exact planned use or number of each type of unit to be constructed, it is impossible to know what the actual density of most of the land on the proposed site will be; regardless, based on the number of units proposed, the density at 221 units for 34.5 acres is 6.4 per acre. If there is to be a Management Office area using roughly 5.5 acres, then that increases the density to 221 for 29 acres or 7.6 per acre.

If some of these units are to be single family detached houses and should they have garages. Paved parking, streets, sidewalks, and common acres will reduce the amount of land available for construction and the number of units per acre on the remaining acres will be increased dramatically.

The topography of this site will make it difficult and not practical for the construction of very many detached single family residences.

According to the 2020 Census Data, the proposed site is in the second lowest per capita income tract in Coweta County. If the west section of Newnan is already lower income than the eastern section, why rezone this property to allow for more lower income rental property in this area of the City? Why not encourage more equity and variety in housing rates by building in the eastern section (and higher income areas)?

The average household size in Coweta County in 2020 was 2.71 persons overall. Assuming that the .71 is a school age child and that typically higher density housing has a higher number of children, where will the new children attend school? Elm Street School at 430 students is full. Ruth Hill at 362 is full. Evans Middle School at 813 is full. If this rezoning is approved, shouldn't the developer who will profit from the development, be required to provide for the expansion of all three of these schools?

Additionally, surely, the developer should be required to provide for the expansion and improvement of Hospital Road including all connecting roads and intersections. The amount of traffic on Hospital Road is already problematic. If you have ever taken Hospital Road during morning school traffic or at 3:00 to 4:00 in the afternoon during school traffic, you are aware that Hospital Road cannot handle the current traffic volume.

During certain times of the day, Hospital Road is blocked with traffic and left turns are not permitted from Hospital Road. Will any new development have the same requirement for no left turn?

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These are basic questions that I and other long term tax paying citizens have. Unfortunately, at this time detailed information has not been given to the general public. Hopefully, you, Members of the Planning Commission, who have been appointed by our elected representatives, will consider the best interests and quality of life for your current residents and taxpayers; and, not a zoning change for some outside company who will only come to Newnan to make a profit.

Thank you for your consideration. Tom Moat

On Dec 19, 2022, at 7:34 PM, Beth Barnett <lbarnett@numail.org> wrote:

Hi Boo,

I hope that you and Carol are doing well.

I just wanted to contact you to express my opposition to the proposed project on Hospital Road. I don't think it's a good fit so close to our neighborhood, given the density that is proposed.

I appreciate your service on the Planning Commission and will plan to see you tomorrow evening.

Thank you,

Beth

Gentlemen,

Thank you very much for the opportunity to share our thoughts with you on the proposed Hospital Road property re-zoning/development. I don't have everyone's e-mail address on the Planning Commission, so if you could share this with those not included on this message, I'd greatly appreciate it.

As residents of neighboring Featherston Heights and active members of our community since our move back to Newnan in 2008, we are dismayed and concerned about the proposal to develop the former Piedmont Newnan Hospital (where I worked for approximately 6 years) to become a high-density population rental home community. We've seen so much high-density residential development since our move back to Newnan in 2008 that we don't feel is favorable. There is such a thing, in our opinion, as the right and wrong kind of growth, and we feel this proposal falls in the latter category.

From a direct impact to our neighborhood standpoint, we all have concerns about the impact a neighborhood like this would have on our neighborhood schools (of which our children attend), roads (which are already experiencing an increase in volume), and emergency services (which are already stretched). I also understand that the probability of run-off from construction damaging homes in our neighborhood is very likely, which we recently experienced when the Hospital Road Rec Center dam broke and resulted in flooding of several houses in our neighborhood.

We also assume the developer of this community is not part of, nor is invested in, this community, which likely means he/she will complete this project, take his/her money made from it, and leave our community. We truly believe our community is much greater than a money-making opportunity for someone who has no part in it and no concern for anything other than making a personal financial gain off of us.

We would much rather see our great City of Newnan revisit the concept of converting our former County Hospital to a much-needed mental health facility, as was attempted some years ago by US HealthVest. As the executive director of our community's free primary care clinic for uninsured adults,

and as an administrator in our school system, we see on a daily basis the tremendous need for additional mental health services in our community. While many organizations, including our current community-provider, Pathways, strive to meet this unique healthcare need, there simply isn't enough capacity to handle the demand. A mental health hospital would be a far better addition to our community, providing great benefit to our entire community, and meeting the growing and concerning mental health needs of our citizens.

Thank you, all, so much for your service on this very important Planning Commission, and thank you, as well, for the opportunity to share our concerns and our strong opposition to this proposal with you. Should you have any questions for either of us, please don't hesitate to reach out.

Gratefully,  
Kelly and Hap Hines

1 Brookwood Drive  
Newnan, GA 30263

Kelly – 770-328-3982 (Newnan/Coweta resident since 1980)  
Hap – 404-281-8920 (Newnan/Coweta resident since 2008)

My humble opinion and concerns:

The old hospital property is a challenge for any developer due to the costs of demolition and clean up. For this reason Mill Creek would like to build as many homes for the development to be profitable. While I am not anti growth this development does not appear to be of quality or responsible growth at the proposed density. Developer indicates that all units will be rental and is requesting a density of 6.3 units per acre. My family is directly impacted by runoff and traffic from this property. There is already a 199 single family home development(Greystone) in the planning stages at the end of Hospital Road, directly across the Bypass. Initial required impact studies on traffic/roads, schools, emergency services, etc. have been completed. **These studies are limited and the full impact of this development would not be known until after rezoning and project completion.**

The traffic study only addresses Hospital Road and the roads it touches. The traffic study already shows multiple failures of traffic flow with the addition of the Mill Creek development. Traffic already backs up at the bypass and HWY 29 intersection at peak hours of the day. Cars leaving from Greystone(199 homes) and Mill Creek(220 homes) to that intersection alone will overwhelm traffic flow that is already heavy. **That traffic will continue to flow to Bullsboro and up HWY 29.**

**The negative impacts outweigh any potential benefits to our community at the proposed density and rental only design.** Once the development is complete and fully leased out who will be responsible for maintenance of detention ponds, facilities, roads, etc.? The City of Newnan and it's tax payers will bear the burden of compliance, maintenance and clean up. The developer can sell at anytime and then who will maintain the property? Piedmont knew the challenges they would be faced with when they vacated this property. Our community is not responsible for rezoning this property to ease Piedmont's challenges in selling. I am against the proposed rezoning of this property. Please see highlights from the staff summary below.

Sincerely,

Matthew Pass  
678-485-7206

### Highlights from the City of Newnan Staff Summary:

#### Response from the School Board:

City of Newnan  
25 LaGrange Street  
Newnan, GA 30263

Re: Community Impact Assessment -Mill Creek Residential

Ms. Dunnivant,

In response to the request for input on the community impact of the proposed development referenced above, we offer the following based on the information available:

Due to the high density housing in the area of the proposal, school capacity is an ongoing concern. Many of the schools serving that area are at or near capacity.

If approved, we would request that the developer provide us advanced notice of the following information for our planning purposes:

What is the construction schedule for the project?

What is the proposed build-out timeline?

Will the project be built in phases?

Will there be a targeted market, e.g., senior citizens?

Thank you for the opportunity to provide feedback.

Sincerely,

#### From Mike Furbush(City Landscape Architect):

Comments on the proposed layout and site plan:

...I have reviewed the recently submitted Tree Management Plan for Mill Creek Residential project along Hospital Road. While the plan does a decent job of showing the existing tree conditions, there is essentially no effort to save any of the existing trees. The 32.58 acre proposed residential project plan states that there will be a 30:10 acres tree save area, which hardly seems worth mentioning. Not only am I concerned about the lack of any site planning around the existing trees, but the proposed layout provides very little room for additional tree plantings. While there may be some room provided for trees around the perimeter of the property, the interior of the project does not. Between the proposed buildings, driveways, required utilities, lack of front yards, and the close proximity of the curbs lines, there does not appear to be enough room to be able to plant the number of trees that would be required.

EVERY SUGGESTED CHANGE TO CONSIDER.

Staff Assessment Failures to comply:

Traffic Study Failures @ Hospital Road:

2. Will the proposed use adversely affect the existing use or usability of adjacent or nearby property? The most significant impact resulting from this rezoning would be an expected increase in traffic. A traffic study has been prepared and included in the application. The proposed site plan illustrates two ingress/egress points onto and off of the site. The development is projected to generate 1,898 new trips per day. The study acknowledges existing traffic issues presently near the site with no new residential development and as part of their study and recommendation, the analyst suggests one way to alleviate problems is to adjust the signal timing at the intersection of Hospital Road and Temple Avenue.

Staff Assessment – AN ADVERSE IMPACT ON TRAFFIC IS ANTICIPATED; HOWEVER, THE DEVELOPERS WILL WORK WITH THE CITY'S ENGINEERING

Table 21: CAPACITY ANALYSIS RESULTS, BUILD CONDITIONS

INTERSECTION	MOVEMENT	BASE YEAR (2022)			DESIGN YEAR (2032)		
		PEAK HOUR	PEAK HOUR	PEAK HOUR	PEAK HOUR	PEAK HOUR	PEAK HOUR
Temple Avenue @ Hospital Road	Signal	B (18.8)	B (14.6)	B (18.6)	C (29.6)	C (25.6)	C (27.9)
Hospital Road @ Hospital Road	EBL/W	C (15.1)	B (14.8)	C (16.6)	C (19.1)	C (18.4)	C (19.4)
Hospital Road @ Evans Drive	NBL/W	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
Hospital Road @ Evans Drive	EBL	C (17.9)	D (25.0)	F (26.2)	C (23.1)	E (41.5)	F (28.5)
Hospital Road @ Evans Drive	EBT/R	B (14.6)	B (11.2)	C (17.0)	C (18.1)	B (12.2)	D (25.2)
Hospital Road @ Evans Drive	NBL/W	B (14.5)	C (24.6)	F (46.1)	C (27.7)	E (44.2)	F (28.2)
Hospital Road @ Evans Drive	NBL/W	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
Hospital Road @ Evans Drive	SBL/W	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
Temple Avenue @ Hospital Road / Franklin Road	Signal	C (26.9)	D (24.0)	D (24.0)	D (26.0)	D (26.0)	E (27.6)
Hospital Road @ Hospital Road	EBL	C (15.1)	C (18.0)	D (26.2)	B (11.0)	B (11.1)	B (13.1)
Hospital Road @ Hospital Road	EBR	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
Hospital Road @ Hospital Road	NBL	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
Hospital Road @ Hospital Road	NBT	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
Hospital Road @ Hospital Road	SBL	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
Hospital Road @ Hospital Road	SBR	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
Hospital Road @ Hospital Road	EBR	B (10.1)	B (10.4)	B (12.0)	B (10.8)	B (11.1)	B (11.4)
Hospital Road @ Hospital Road	NBL	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
Hospital Road @ Hospital Road	SBL	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
Hospital Road @ Hospital Road	SBR	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)

PERSONNEL TO DESIGN AND IMPLEMENT MITIGATION MEASURES TO MINIMIZE THE IMPACT X

3. Are their substantial reasons why the property cannot or should not be used as currently zoned? The property is currently zoned for office development with only residential apartments above commercial properties as the only residential uses. To date, the City has not been asked to review any proposed development which would be allowed by the current zoning.

Staff Assessment – PROPERTY CAN BE DEVELOPED AS CURRENTLY ZONED, HOWEVER, NO DEVELOPMENTS UNDER CURRENT ZONING HAVE BEEN PRESENTED TO THE CITY X

4. Will the proposed use cause an excessive or burdensome use of public facilities



## Dean Smith

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**From:** Joe Crain Jr <joejr@crainoil.net>  
**Sent:** Tuesday, December 20, 2022 2:10 PM  
**To:** Dean Smith  
**Subject:** FW: oppose rezoning of Hospital Rd

**From:** Sue Rich <[srich1047@yahoo.com](mailto:srich1047@yahoo.com)>  
**Sent:** Thursday, December 15, 2022 5:44:05 PM  
**To:** [clay.mcentire@gmail.com](mailto:clay.mcentire@gmail.com) <[clay.mcentire@gmail.com](mailto:clay.mcentire@gmail.com)>; Joe Crain Jr <[joejr@crainoil.net](mailto:joejr@crainoil.net)>; [rwc@numail.org](mailto:rwc@numail.org) <[rwc@numail.org](mailto:rwc@numail.org)>; [fredhamlin3@yahoo.com](mailto:fredhamlin3@yahoo.com) <[fredhamlin3@yahoo.com](mailto:fredhamlin3@yahoo.com)>  
**Subject:** oppose rezoning of Hospital Rd

We are writing to let you know we greatly oppose the rezoning of Hospital Rd so that 221 RENTAL housing units can be built on that property. The impact from such a development on our neighborhood schools, roads, traffic, and emergency services would be enormous. This is not the type, quality or density of development we can support-we live in a City of Homes-not apartments. Please vote no on this issue.

Sue and Larry Rich  
6 Mansour Circle

**From:** gsewell <gsewell@numail.org>  
**Date:** December 16, 2022 at 3:58:20 PM EST  
**To:** fredhamlin3@yahoo.com

Boo, This is Grace Sewell and I would like to say I am completely against the Hospital Rd. development! The traffic would be terrible and many more people that we don't need here! Thank you. Grace

## Dean Smith

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**From:** Samantha Wood  
**Sent:** Friday, December 16, 2022 10:49 AM  
**To:** Dean Smith  
**Subject:** FW: Hospital Rd.



Samantha Wood  
Administrative Assistant Planning & Zoning

Main: (770) 254-2358  
Desk: (678) 673-5485  
[swood@newnanga.gov](mailto:swood@newnanga.gov)  
[www.newnanga.gov](http://www.newnanga.gov)

City of Newnan  
25 LaGrange Street  
Newnan, Georgia 30263



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**From:** Fred Hamlin <fredhamlin3@yahoo.com>  
**Sent:** Friday, December 16, 2022 10:32 AM  
**To:** Samantha Wood <swood@newnanga.gov>  
**Subject:** Fwd: Hospital Rd.

FYI...

Begin forwarded message:

**From:** Jenny Passler <[jbpassler@gmail.com](mailto:jbpassler@gmail.com)>  
**Date:** December 15, 2022 at 7:39:02 PM EST  
**To:** [fredhamlin3@yahoo.com](mailto:fredhamlin3@yahoo.com)  
**Subject:** Hospital Rd.

Hi Boo, David and I do not want rental housing on that property! We would love to see larger lots and a nice subdivision of single family homes that are owned! That side of town needs help and having rentals will make it look like Poplar Rd. Which will look worse than it does now in a few years. Why not copy some of our older homes, Newnan is the City of Homes, and have a beautiful neighborhood for all of us to be proud of.  
Thank you and Merry Christmas!

Jenny and David Moore  
Sent from my iPhone

## Dean Smith

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**From:** Joe Crain Jr <joejr@crainoil.net>  
**Sent:** Tuesday, December 20, 2022 2:09 PM  
**To:** Dean Smith  
**Subject:** FW: Re-Zoning Hospital Road

From: Teresa Dunn <stonehouse10@gmail.com>  
Sent: Friday, December 16, 2022 5:26 AM  
To: Joe Crain Jr <joejr@crainoil.net>  
Subject: Re-Zoning Hospital Road

Dear Joe,

I am writing to you to let you know that the residents of our neighborhood, Brookwood Drive, and Pickens Drive are strongly opposed to the re-zoning of Hospital Road.

That change would affect our area in a negative way.

There are many other ways that land could be developed in a positive way.

Please do not vote for that change, but vote against it!

Thank you very much for hearing my thoughts on this matter.

Teresa Dunn

10 Brookwood Drive

Sent from my iPad

## Dean Smith

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**From:** Joe Crain Jr <joejr@crainoil.net>  
**Sent:** Tuesday, December 20, 2022 2:08 PM  
**To:** Dean Smith  
**Subject:** FW: Rezoning of the hospital concerns/opposition

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**From:** Bohannon, Alicia <[Alicia.Bohannon@experian.com](mailto:Alicia.Bohannon@experian.com)>  
**Sent:** Monday, December 19, 2022 12:12 PM  
**To:** Joe Crain Jr <[joejr@crainoil.net](mailto:joejr@crainoil.net)>  
**Subject:** Rezoning of the hospital concerns/opposition

Hi and Happy Holidays Joe,

In advance to the meeting tomorrow, as a resident of the city of Newnan and Featherston Heights, I would like to provide quick feedback of my concerns for the rezoning on Hospital Road. We have chosen to live in this area of Newnan because of the schools, better traffic on this side of town, and the sustained real estate values.

I do have concerns and oppose the rezoning of the hospital road based on the facts that have been presented on the developments they are trying to get approved to build. This development would have negative impact on our neighborhood schools, roads and emergency services.

Thank you for allowing me to share my concerns and opposition.

Kind regards,

Alicia Bohannon

[alicia.bohannon@experian.com](mailto:alicia.bohannon@experian.com)

## Dean Smith

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**From:** Chris Hunt <Chris.Hunt@bhhsgeorgia.com>  
**Sent:** Tuesday, December 20, 2022 2:02 PM  
**To:** Dean Smith; Bob Coggin; Clay McEntire (clay.mcentire@MarshMMA.com); Fred Hamlin; Joe Crain, Jr.; Proctor Smith; West Alton  
**Subject:** RE: RZ2022-13-60 Hospital Road-Mill Creek Residential rezoning

Good afternoon Dean ... I received a phone call from Skin Edge and this text message copied below. Several of us received this text as a group.

Dear Planning Commission Members,

I have lived in Newnan all my life. I have seen it grow and evolve from a small, sleepy town to what it is today. It has kept the small town feel that people long for while keeping up with modern trends. Our town flourished, while nearby towns fell into a nightmare of strip malls and bad decisions.

That successful transition didn't happen accidentally. It came about through the hard work and planning of people who love this place, and want their children and grandchildren to stay.

Recently, I have seen greed become more and more apparent in zoning decisions. The very things that have made Newnan, a desirable place to live, are being obliterated by thoughtless rezoning and money grabs.

Adding the level of zoning density proposed on Hospital Road will encourage absentee owners to buy property and replace homes, tearing down our neighborhoods, one house at a time for a quick profit that will, in the long run, devalue the entire town.

Please continue Newnan's history of good stewardship that has made it the wonderful place it is and vote against this proposal for Hospital Road development.

Sincerely,  
Elizabeth Doster  
8 Brookwood Drive  
(678)772-2955

-----  
Thanks Dean.

## ***Chris Hunt - The Hunt Team***

**BHHS | Georgia Properties**

**Newnan / Coweta Office | #1 TEAM**

**BHHS Chairman's Circle Award Recipient 2013 – 2018 ... Top 2%**

**BHHS Chairman's Circle Platinum Award 2016, 2019 - 2021 ... Top 1%**

BHHS Chairman's Circle Diamond Award 2022 ... Top 1/2%

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Visit our website @ [https://link.edgепilot.com/s/a3e9e7a1/-AjvNEIS3Uy2GmBpu\\_eprA?u=http://www.thehuntteam.net/](https://link.edgепilot.com/s/a3e9e7a1/-AjvNEIS3Uy2GmBpu_eprA?u=http://www.thehuntteam.net/)

----- Original message -----

From: Dean Smith <DSmith@newnanga.gov>

Date: 12/20/22 1:02 PM (GMT-05:00)

To: Bob Coggin <rcw@numail.org>, Chris Hunt <Chris.hunt@bhhsgeorgia.com>, "Clay McEntire (clay.mcentire@MarshMMA.com)" <clay.mcentire@MarshMMA.com>, Fred Hamlin <fredhamlin3@yahoo.com>, "Joe Crain, Jr." <joejr@crainoil.net>, Proctor Smith <psmith827@numail.org>, West Alton <wesley\_30241@yahoo.com>  
Subject: RZ2022-13-60 Hospital Road-Mill Creek Residential rezoning

Good afternoon Commissioners. I know some of you have received several emails from citizens regarding the rezoning petition scheduled for this evening's meeting. We have heard from some of you who have forwarded those emails to our office and we appreciate that.

I would like to ask that there are any emails you have received pertinent to this rezoning petition that you have not already sent to us, please forward those emails to my attention please.

I want to be sure to include all of the relevant information at the meeting this evening.

Thank you,



Dean Smith  
Senior Planner

(678) 673-5496  
dsmith@cityofnewnanga.gov  
www.newnanga.gov  
City of Newnan  
25 LaGrange Street  
Newnan, Georgia 30263

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personal information, do not respond to the email and immediately contact Berkshire Hathaway HomeServices Georgia Properties to notify of suspected email fraud at: [fraud@bhhsgeorgia.com](mailto:fraud@bhhsgeorgia.com) or 678-352-4490. Additionally, contact your sales agent to alert him/her of the suspect email.

## Dean Smith

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**From:** McEntire, Clay (MMA) <Clay.McEntire@MarshMMA.com>  
**Sent:** Tuesday, December 20, 2022 9:57 AM  
**To:** Tracy Dunnavant  
**Cc:** Dean Smith; Samantha Wood  
**Subject:** FW: Proposed development

Good Morning,

Below is an email in opposition to the hospital road proposal. I figured I would pass this along in case you needed it. I have received several opposition texts and calls as well.

Thank you,

### Clay McEntire, CLCS, AAI

Vice President

T 770-683-1020 | M 470-215-5917 | F 770-683-1010

47 Postal Parkway | Newnan, GA | 30263

[clay.mcentire@MarshMMA.com](mailto:clay.mcentire@MarshMMA.com) | [MarshMMA.com](http://MarshMMA.com)



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Begin forwarded message:

**From:** Lisa Thomas <[dthomas@numail.org](mailto:dthomas@numail.org)>  
**Date:** December 20, 2022 at 9:27:42 AM EST  
**To:** [clay.mcentire@gmail.com](mailto:clay.mcentire@gmail.com), Joe Crain <[joejr@crainoil.net](mailto:joejr@crainoil.net)>  
**Subject:** Proposed development

David and I are reaching out to you as you are members of the City of Newnan Planning Commission. We are very much opposed to the proposal to rezone the property on Hospital Road for development of rental properties. We feel it would stress the infrastructure, cause traffic issues, undue hardships on the school system, and diminish our property values.

We hope to attend tonight's meeting but are out of town currently and in case we do not make it, we wished to go on record with our opposition. We trust that you will act in the best interest of our community and neighborhood.

Thank you,

David and Lisa Thomas  
16 Brookwood Drive  
Newnan, Georgia

Sent from my iPhone

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This e-mail transmission and any attachments that accompany it may contain information that is privileged, confidential or otherwise exempt from disclosure under applicable law and is intended solely for the use of the individual(s) to whom it was intended to be addressed. If you have received this e-mail by mistake, or you are not the intended recipient, any disclosure, dissemination, distribution, copying or other use or retention of this communication or its substance is prohibited. If you have received this communication in error, please immediately reply to the author via e-mail that you received this message by mistake and also permanently delete the original and all copies of this e-mail and any attachments from your computer.

Please note that coverage cannot be bound or altered by sending an email. You must speak with or receive written confirmation from a licensed representative of our firm to put coverage in force or make changes to your existing program. Thank you.

## Dean Smith

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**From:** Joe Crain Jr <joejr@crainoil.net>  
**Sent:** Tuesday, December 20, 2022 2:09 PM  
**To:** Dean Smith  
**Subject:** FW: Hospital Road Rezoning proposal before City of Newnan Planning Commission

**To:** [clay.mcentire@gmail.com](mailto:clay.mcentire@gmail.com) <[clay.mcentire@gmail.com](mailto:clay.mcentire@gmail.com)>; [fredhamlin3@yahoo.com](mailto:fredhamlin3@yahoo.com) <[fredhamlin3@yahoo.com](mailto:fredhamlin3@yahoo.com)>; Joe Crain Jr <[joejr@crainoil.net](mailto:joejr@crainoil.net)>; [rwcn@mail.org](mailto:rwcn@mail.org) <[rwcn@mail.org](mailto:rwcn@mail.org)>  
**Cc:** Harry Barrow <[hhbarrow67@gmail.com](mailto:hhbarrow67@gmail.com)>  
**Subject:** Hospital Road Rezoning proposal before City of Newnan Planning Commission

Good afternoon,

Thank you all for serving on the Planning Commission, difficult and important work indeed.

Harry and I oppose the rezoning application that would allow apartments to be built on the property owned by Piedmont Hospital. We are concerned about the overbuilding of apartment complexes in the city and county and the effect this has on the local schools, tax base, neighborhoods, and traffic congestion.

If a comprehensive study of housing needs in the city and county exists, sharing it with the public would reassure many of us who are concerned about rampant development. If not, it seems like an opportune moment to create and share a proactive plan that both serves the needs of our growing population and preserves the quality of life we enjoy in Newnan.

We are grateful that you are willing to serve in this capacity and thank you for considering this input.

Best,  
Madeline

Madeline H. Barrow  
24 Sherwood Drive  
Newnan, GA 30263  
(770) 328-9927  
[mhbarrow68@gmail.com](mailto:mhbarrow68@gmail.com)

## Dean Smith

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**From:** Joe Crain Jr <joejr@crainoil.net>  
**Sent:** Tuesday, December 20, 2022 2:08 PM  
**To:** Dean Smith  
**Subject:** FW: Hospital Road rezoning

Cc: clay.mcentire@gmail.com; fredhamlin3@yahoo.com; Joe Crain Jr <joejr@crainoil.net>  
Subject: Hospital Road rezoning

Good morning,

John and I are very concerned about the rezoning and potential development of the 34 acre property on Hospital Road. While we agree that improving the property is desirable, we don't think that a high-density housing development is the way to go. There are numerous apartment complexes in close proximity and more units would add to the strain on city services and schools. Recently, a new complex has been in the news because of the serious crimes that have occurred there, so crime is also a concern. Please carefully consider the implications for our community when making this important decision.

Thank you for your time and service,  
John Blake and Kitty Lambert

Sent from my iPhone



January 24<sup>th</sup>, 2023

Re: Presentation of an Interim Report from the Farmer Street Cemetery Commission

Mayor Brady and Councilmembers,

The Farmer Street Cemetery Commission looks to provide the City of Newnan and its residents with a productive 2023, with plans for improvements and efforts to protect, preserve and promote the grounds. The commission remains dedicated to seeking the best outcomes for the Farmer Street Cemetery and for the community as a whole.

As part of a continuation of the Commission's ongoing goals, the Commission will maintain its pursuit of the Farmer Street Cemetery's listing on the National Register of Historic Places. Jointly, the Commission will also continue to pursue a Georgia Historic Marker; however, to ensure accuracy of information on the marker it has been recommended by City Staff to wait until after receiving approval from the National Register.

Concurrently, as the Commission waits for the approval from the National Register of Historic Places, the Commission would like to seek temporary signage to be placed in a defined location within the Farmer Street Cemetery to provide information about the Cemetery and the plans of the Commission. Ultimately, the sign will be temporary until a more permanent sign can be placed.

In addition to these updates, the Commission has held discussion on topics surrounding the protection and preservation of the Farmer Street Cemetery regarding legal boundaries, citizen/visitor usage, visiting hours, and many other topics that relate to citizen access. As a result of the discussions, the Commission has developed three recommendations that it would like the City Council to consider.

First, the Commission discussed efforts to protect the boundaries of the surveyed site. Currently, there is a fence that that is believed to encroach upon the site. Therefore, the Commission kindly requests the permission of the City Council to start a process utilizing the assistance of the City Attorney for the removal/relocation of fencing that is believed to be encroaching upon the site at the Farmer Street Cemetery.

Second, the Commission began to discuss efforts to protect and preserve the state of development at and around the Farmer Street Cemetery. The Commission asks that City Council consider authorizing City Staff to draft and present a resolution that provides for the protection



of the Farmer Street Cemetery and all other cemeteries in the City of Newnan from future development of any kind.

The third and final discussion centered on the topic of citizen/visitor usage and visiting hours. The purpose of this discussion was to find a means to encourage respectful use of the site and to give the law enforcement community authority to stop egregious behaviors at the site. Therefore, the Commission kindly asks the City Council to consider authorizing City Staff to draft and present an ordinance establishing usage/visiting hours for the Farmer Street Cemetery as well as other public cemeteries.

Best Regards,

Farmer Street Cemetery Commission Members

Jocelyn Palmer

Loren Taylor

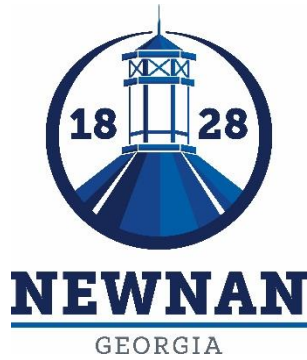
Cynthia Finney

Alison O'Rourke

Veda Brooks

John Pulicare

Jesse Yates



## City of Newnan, Georgia - Mayor and Council

Date: January 18, 2023

Agenda Item: 2023 City Council Agenda Item Request Letter (MS Events)

Prepared By: Jesse Branch, Special Events Coordinator

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January 18, 2023

Mr. Cleatus Phillips  
City of Newnan  
25 LaGrange Street  
Newnan, GA 30263

Re: 2023 City Council Agenda Item Request Letter (MS Events)

Mr. Phillips,

Please accept this letter as a formal request to place the following agenda items on the Newnan City Council's January 24, 2023 Meeting Agenda:

**I. Permission to close streets for the following Main Street Newnan events:**

**• Market Day**

Permission to close North and South Court Square between Jackson St/E Court Square and Jefferson St/W Court Square from 8:00am-3:00pm. Dates for the Market Day are:

- March 4, 2023
- April 1, 2023
- May 6, 2023
- June 3, 2023
- July 1, 2023
- August 5, 2023
- September 2, 2023
- October 7, 2023
- November 4, 2023
- December 2, 2023

**• Fourth of July Parade – Tuesday, July 4, 2023**

The Parade will begin at Veteran's Memorial Park along Temple Avenue at 9:00 am, travel south along Jackson/LaGrange Street, and will end at the intersection of LaGrange Street and Long Pl/Salbide Avenue. The event will conclude by 10:00 am.

**• Sunrise on the Square 5K Road Race – Saturday, September 2, 2023**



The 5K Road Race will begin on W Washington St, and turn at Wesley to College, College to Hwy 34, to Carmichael Street where the route will loop through several quick turns: Atkinson St, Velma Drive, Lundy Drive, Sherwood Drive, Edgewood Drive and end on Roscoe Road. From Roscoe Road the route will travel south through Downtown Newnan on Jackson Street, toward the finish line on W Washington Street.

- **Spirits & Spice Festival – Saturday, October 21, 2023**

Permission to close North and South Court Square, West Court Square, and West Washington Streets between 11:00am and 8:00pm.

- **Holiday Sip & See –Friday, November 17, 2023**

Permission to close South Court Square between 3:00pm and the close of the event.

- **Santa on the Square – Friday, November 24, 2023**

Permission to close North Court Square between 3:00pm and the close of the event.

**II. Permission to use downtown sidewalks for the following Main Street Newnan events:**

- **Market Day**

1st Saturday of each month between March and December. The event takes place between 10:00am and 2:00pm. Sidewalks located on the interior portion of the Courthouse Square.

- **Spring Art Walk – Friday, March 24, 2023**

Use of downtown sidewalks at various participating locations between 5:00pm and 9:00pm.

- **Downtown Newnan Restaurant Week—Sunday, April 16th-Saturday, April 22nd, 2023**

Use of downtown sidewalks at various participating locations between 9:00am and 9:00pm.

- **Summer Wined Up – Friday, June 16, 2023**

Use of downtown sidewalks at various participating locations between 5:00pm and 9:00pm.

- **Labor Day Sidewalk Sale—Friday, September 1st-Monday, September 4th, 2023**

Use of downtown sidewalks at various participating locations between 9:00am and 6:00pm.

- **Fall Art Walk – Friday, September 22, 2023**

Use of downtown sidewalks at various participating locations between 5:00pm and 9:00pm.

- **Oktoberfest Craft Beer Tasting – Friday, October 6, 2023**

Use of downtown sidewalks at various participating locations between 5:00pm and 9:00pm.

- **Spirits & Spice Festival—Saturday, October 21, 2023**

Use of downtown sidewalks at various participating locations and around the Courthouse square between 2:00pm and 7:00pm.

- **Munchkin Masquerade (Downtown Trick or Treat) – Tuesday, October 31, 2023**  
Use of downtown sidewalks during the event between 10:00am and 12:00pm.
- **Holiday Sip-and-See – Friday, November 17, 2023**  
Use of downtown sidewalks at various participating locations between 5:00pm and 9:00pm
- **Plaid Friday—Friday, November 24, 2023**  
Use of downtown sidewalks at various participating locations between 9:00am and 6:00pm.
- **Santa on the Square—Friday, November 24, 2023**  
Use of downtown sidewalks at various participating locations between 6:00pm and 8:00pm
- **Small Business Saturday—Saturday, November 25, 2023**  
Use of downtown sidewalks at various participating locations between 9:00am and 6:00pm.

**III. Permission to utilize parking spaces or lots for the following Main Street Newnan events:**

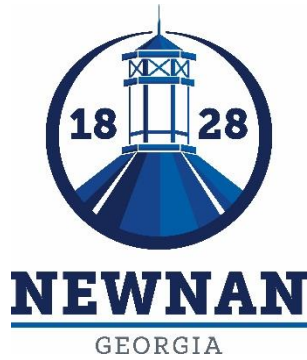
- **Spirits & Spice Festival – Friday, October 20, 2023**  
Use of parking spaces located on West Court Square.
- **Spirits & Spice Festival – Saturday, October 21, 2023**  
Use of parking spaces located on the interior and exterior of the Courthouse Square.

Please contact me if you require additional information. Thank you for your continued support of the Main Street Newnan program.

Best Regards,

Jesse Branch  
Special Events Coordinator  
City of Newnan  
770-253-8283 (x1)  
706-333-1433 (cell)  
jbranch@cityofnewnan.org

Main Street Newnan  
Business Development Department  
6 First Avenue  
Newnan, Georgia 30263  
www.mainstreetnewnan.com



## City of Newnan, Georgia - Mayor and Council

Date: January 18, 2023

Agenda Item: Consideration of Certain City-Sponsored Events to Exercise Ordinance Amendment to Chapter 3, Alcoholic Beverages

Prepared By: Jesse Branch, Special Events Coordinator

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**Purpose:** Newnan City Council may consider allowing for the possession and consumption of alcoholic beverages on public streets and sidewalks located within a defined location with the Downtown Development Authority District during the following events and in accordance with the Code of Ordinances of the City of Newnan, Chapter 3, Alcoholic Beverages:

- **Summer NewnaNights- Thursday, June 8, 2023, July 13, 2023, & August 10, 2023**

**Background:** In accordance with the amended Code of Ordinances, Chapter 3, Alcoholic Beverages, Section 3-27 (b), City Staff is providing a map of a defined location for the possession and consumption of alcoholic beverages beginning 30 minutes prior to the beginning of the event, during the event, and up to 30 minutes after the end of the event.

**Funding:** N/A

**Recommendation:** City Staff, on behalf of the Newnan Downtown Development Authority, recommends approval of the request to exercise the Code of Ordinances of the City of Newnan, Chapter 3, Alcoholic Beverages, as amended, to allow for the possession and consumption of alcoholic beverages on public streets and sidewalks during city-sponsored events in a defined location within the Downtown Development Authority District.

- A request to allow for possession and open consumption for city sponsored event series Summer NewnaNIGHTS on:
  - Thursday, June 8, 2023,
  - Thursday, July 13, 2023, &
  - Thursday, August 10, 2023in Greenville Street Park. (Please see Attachment A).

**Attachments:** Proposed map for SummerNewnanights (Attachment A)

**Previous Discussion with Council:** Newnan City Council adopted an Ordinance to Amend Chapter 3, Alcoholic Beverages, of the Code of Ordinances of the City of Newnan, Georgia at the March 28, 2017 meeting.

**Attachment A:**





## City of Newnan, Georgia – Mayor and Council

Date: January 24, 2023

Agenda Item: Rezoning Request – RZ2022-12  
3.3± acres located at 420 Jefferson Street (Tax Parcel #N57D-096) from RS-15 (Suburban Residential Single-Family Dwelling District Medium Density) to CGN (General Commercial District)

Prepared and Presented by: Dean Smith, Senior Planner

## **REZONING ASSESSMENT**

### **APPLICANT INFORMATION:**

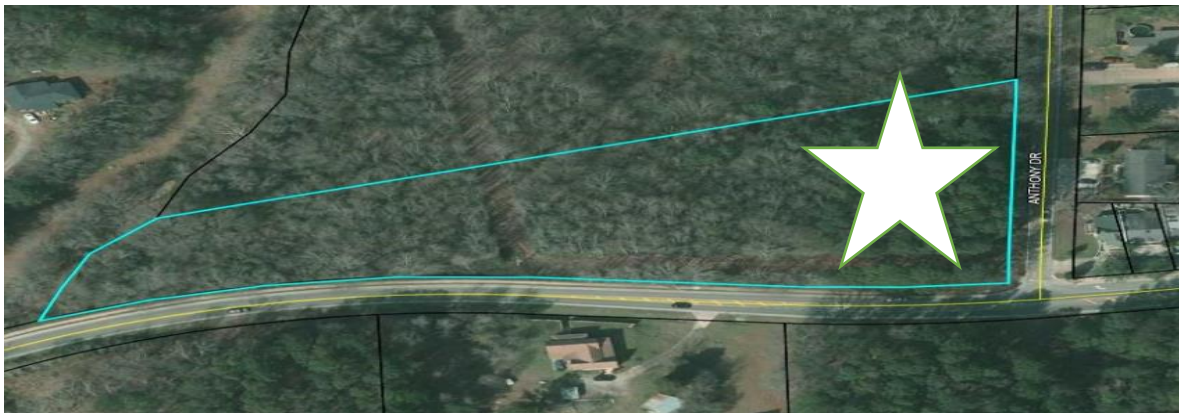
Southern Development, LLC  
Josh Harris, Member  
P.O. Box 73829  
Newnan GA 30271

This is a continuance on a previously advertised public hearing held by City Council on November 22, 2022. The applicant requested that this item be continued until Council's second meeting in January 2023. The applicant desires to develop the subject property for the stated purpose of placing a "food service container building" on the subject property. In order to accomplish this, the applicant is seeking an CGN (General Commercial District) zoning for 3.3 ± acres located on the corner of Jefferson Street and Anthony Drive.

### **SITE INFORMATION:**

The site consists of 3.3± acres located on the corner of Anthony Drive and Jefferson Street. It is also identified as tax parcel id number N57D-096.

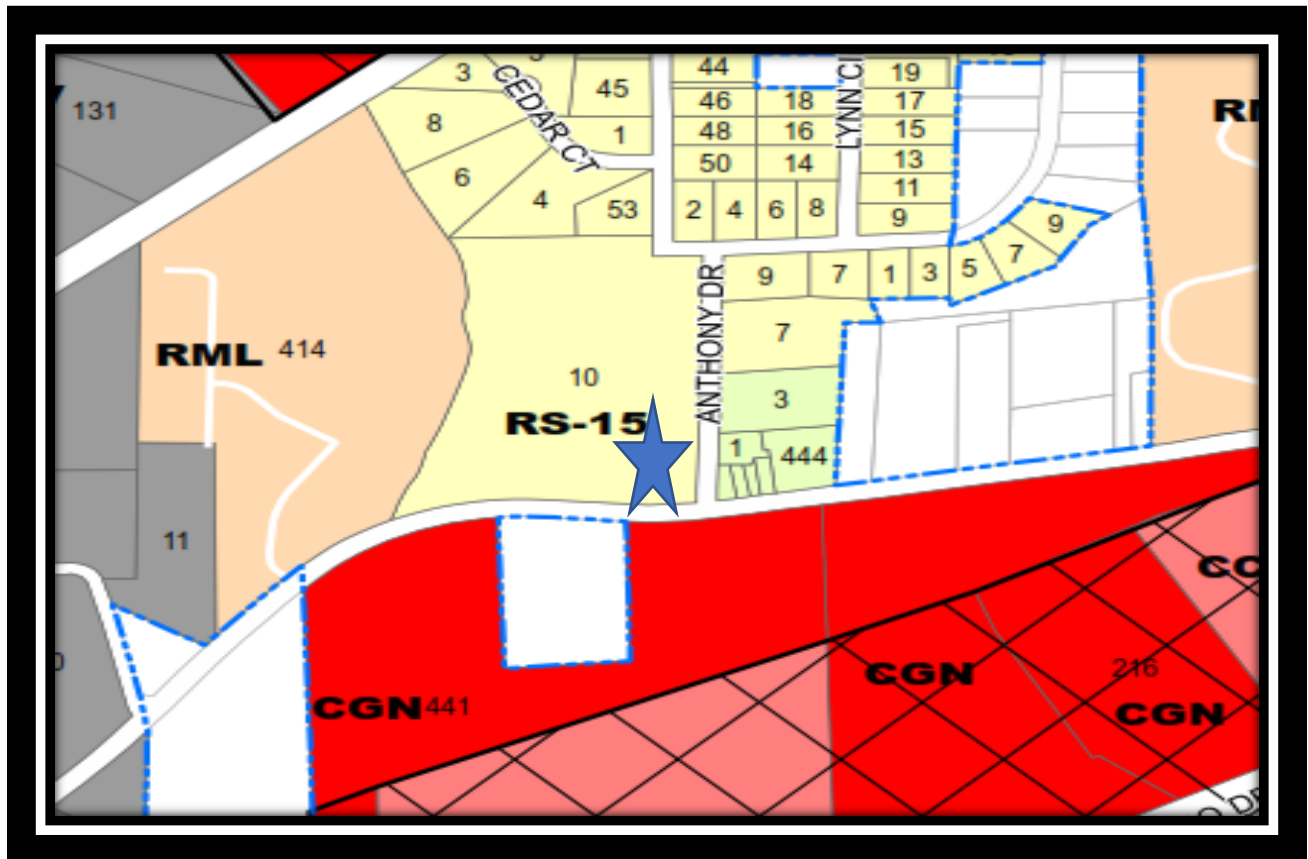
The site is currently undeveloped and zoned RS-15 (Suburban Residential Single-Family Dwelling District-Medium Density).



**OVERVIEW OF REQUEST:**

The applicant is requesting the rezoning of 303 ± acres located at 420 Jefferson Street. The property is currently zoned RS-15 (Suburban Residential Single-Family Dwelling District-Medium Density) and the applicant is requesting CGN (General Commercial District) for the development of a food service business utilizing a modified cargo container as the structure.

The subject property is bordered by residential zoning on the East, North and West borders and on the south border, by an existing unincorporated island and commercially zoned property that is within the City limits.



**STANDARDS:**

In formulating a decision, the Zoning Ordinance requires the Planning Commission and the City Council to consider the following standards. Staff has assessed each standard and identified those with a green check mark ✓ as standards being met by the proposed rezoning and those with a red “X” ✗ as standards not being met.

- 1. Is the proposed use suitable in view of the zoning and development of adjacent and nearby property?** The subject tract is bordered predominantly by residential zoning designations and uses. There is an apartment complex to the west and multifamily rentals to the east. The northern border is a single-family residential zoning district (RS-15). To the south of the subject site is an unincorporated island that is a

residential use. Also, to the south of the subject property is undeveloped commercially zoned property (CGN).

Future Land Use Map identifies this tract as Built Community. Built Community is described as, "Areas that have been developed with a variety of residential buildings and nonresidential uses that provide goods and services to the surrounding neighborhoods. Future land uses within this area should closely mirror the built community as already established."

A food service/restaurant style operation does provide service and/or products to nearby residences and, from that perspective, falls within the parameters of the Built Community description. Jefferson Street also hosts a variety of uses, including industrial, heavy and general commercial, multifamily residential and single family residential.

**Staff Assessment – PROPOSED USE IS SUITABLE ✓**

- 2. Will the proposed use adversely affect the existing use or usability of adjacent or nearby property?** The most significant impact resulting from this rezoning would be an expected increase in traffic. A traffic study was not warranted based upon the requirements of the ordinance, nor offered by the applicant. There will be an impact over the present use which is a vacant, undeveloped parcel; however, the total impact is unknown.

**Staff Assessment – INSUFFICIENT DATA TO ASCERTAIN IMPACT ✗**

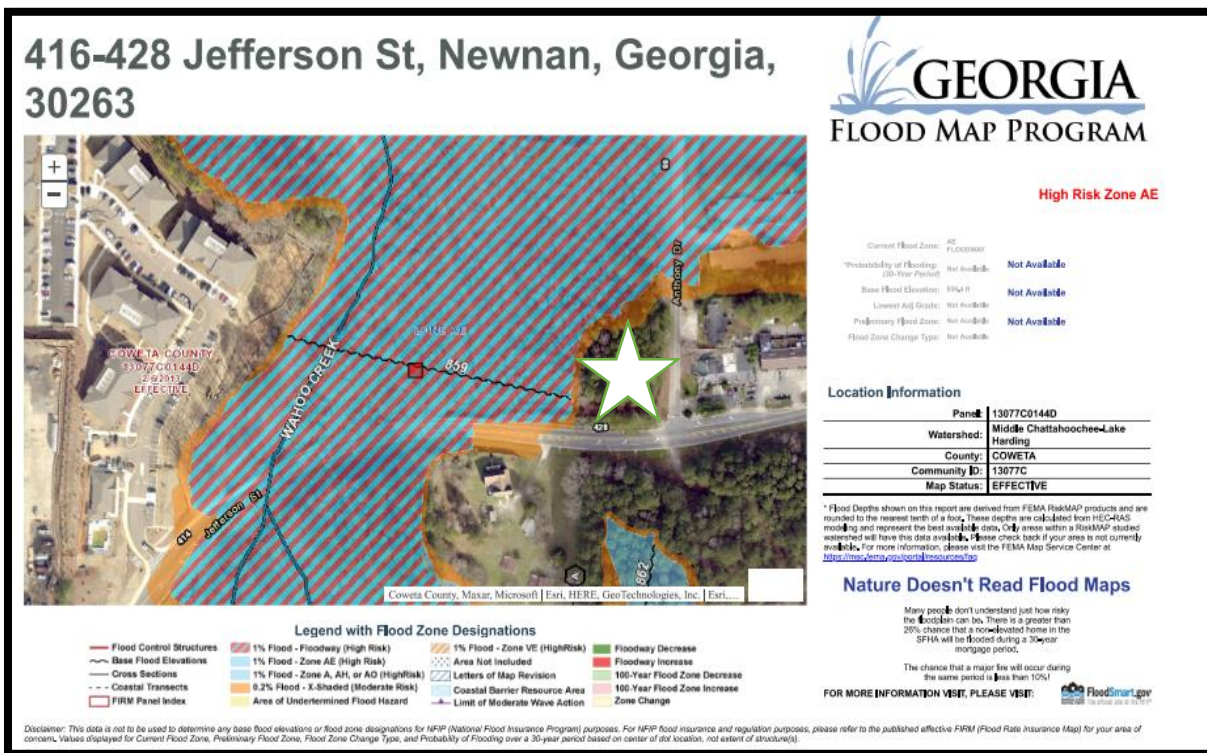
- 3. Are their substantial reasons why the property cannot or should not be used as currently zoned?** The property is currently zoned for single-family residential development. There are environmental constraints on the property that limit the available area that can be developed, as illustrated on the survey and concept plans provided as an attachment to this report.

To date, the City has not been asked to review any proposed development for single-family houses, as allowed by the current zoning.

**Staff Assessment – PROPERTY CAN BE DEVELOPED AS CURRENTLY ZONED, HOWEVER, NO DEVELOPMENTS UNDER CURRENT ZONING HAVE BEEN PRESENTED TO THE CITY ✗**

- 4. Will the proposed use cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?** The proposed development is less than 250,000 square feet, so it did not meet the requirement for a community impact study nor a traffic study. However, we have asked various City Departments to provide their input on the impact the proposed project would have.

- **Police:** Police Chief Blankenship has indicated that any additional calls for service incidental to the proposed development could be absorbed by current staff and resources.
- **Fire:** Fire Chief Brown indicates that the proposed development will have very little impact on the fire department and they should be able to provide service with existing staff and resources.
- **Newnan Utilities:** Scott Tolar with Newnan Utilities states that they can provide service but reserve the right to require more information before making an appropriate decision on the project. This additional information would primarily include the end user and type of food service provider that will be on the subject property.
- **Engineering:** Michael Klahr, Director of Engineering Services for the City of Newnan has provided the following: “No encroachment is permitted in the floodway...For this parcel, the floodway approximates the 100 year floodplain boundary as shown (below), therefore the path as shown is not permitted....”







Additionally, Engineering comments further: “The parking area will need to meet ADA (Americans with Disabilities Act) standards for surface, slopes, and number of accessible parking spaces...the driveway connection to Anthony Drive to meet development standards, primarily in width and proximity to Jefferson Street....The stormwater ordinance will apply if the development creates 5,000 square feet or more of impervious area, including building and parking lot....”

- Traffic: A traffic impact study was not warranted based upon the requirements of the ordinance, nor was a traffic study offered by the applicant; therefore, a traffic impact study is not included as a part of this application.
- Coweta County Schools: Since the project will be commercial and not involve an increase to residential units in the area, there would be no additional impact on schools.

**Staff Assessment – PROJECT IS ESTIMATED TO HAVE A MINIMUM IMPACT ON SERVICE PROVISIONS ✓**

5. **Is the proposed use compatible with the purpose and intent of the Comprehensive Plan?** The Future Land Use Map shows this property as Built Community. Built Community is described as, “Areas that have been developed with a variety of residential buildings and nonresidential uses that provide goods and services to the

surrounding neighborhoods. Future land uses within this area should closely mirror the built community as already established.”

A food service/restaurant style operation does provide service and/or products to nearby residences and from that perspective, falls within the parameters of the Built Community description. Jefferson Street also hosts a variety of uses, including industrial, heavy and general commercial, multifamily residential and single family residential.

**Staff Assessment – THE FUTURE LAND USE MAP SHOWS THIS PROPERTY AS BUILT COMMUNITY ✓**

6. **Is the proposed use consistent with the purpose and intent of the proposed zoning district?** Currently, the existing zoning would not support a commercial establishment. The proposed zoning designation of General Commercial District (CGN) does support a food service establishment.

**Staff Assessment – PROPOSED USE IS CONSISTENT WITH THE PROPOSED ZONING DISTRICT ✓**

7. **Is the proposed use supported by new or changing conditions not anticipated by the Comprehensive Plan?** The Future Land Use map shows the property as Built Community, which was a new category created by the City during the most recent comprehensive plan update adopted by City Council in the Fall of 2021.

**Staff Assessment – RECENTLY COMPLETED UPDATES TO BOTH THE FUTURE LAND USE MAP AND COMPREHENSIVE PLAN SHOW THE PROPOSED DEVELOPMENT AS A USE CONSISTENT WITH BUILT COMMUNITY ✓**

8. **Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?**

The area in question is predominantly residential in nature and by zoning. There is commercial opportunity directly across Jefferson Street from the proposed site, so an extension of commercial zoning is not unreasonable. There are concerns as to how a blanket CGN zoning may impact residential properties nearby. While the applicant states their purpose would be to establish a food service container structure, a CGN zoning designation without conditions would open the property to numerous potential other uses in the future. Staff feels that by limiting this request to CGN for the food service container building as described in the application, would bring more balance between maintaining the existing character of the residential area and provide a transition between residential and commercial uses. If there was a desire to change the use in the future, the applicant would have to request another rezoning, allowing for public input.

This site is limited by natural features, topography and floodplain that restrict development to a small, area of land as illustrated by the applicant on which the proposed product type of a food service container building would fit.

**Staff Assessment – THE PROPOSED PROJECT DOES REFLECT A REASONABLE BALANCE, IF THE REZONING IS APPROVED WITH CONDITIONS ✓**

**SUMMARY OF STANDARD ASSEMENT:**

After assessing the project based on the standards to be considered for rezoning requests, Staff found that the development meets **6 of the 8 standards**.

**PLANNING COMMISSION RECOMMENDATION:**

The Planning Commission held a public hearing at their October 11, 2022 meeting and voted unanimously to recommend denial of the rezoning petition.

**ADDITIONAL REGULATORY CRITERIA TO CONSIDER:**

In February 2022, Newnan City Council adopted a revised Tree Conservation and Landscape Ordinance. Section 10-84 of that ordinance requires that any application for annexation, rezoning or preliminary subdivision plats, must include a Preliminary Tree Management Plan which shall include, at a minimum:

- Graphic representation of existing tree canopy;
- descriptive written or labeling information about existing tree canopy;
- total number of acres;
- number of disturbed acres;
- number of acres within any undevelopable portion, i.e. utility easements, floodplains, ponds, streams and stream buffers, etc.;
- graphic display and label any required or proffered buffers and provide acreage;
- number of actual tree save acreage, not including any of the categories listed above;
- provide detailed and graphic descriptions of all tree save areas and how tree save areas will be safeguarded and protected.

The City Landscape Architect conducts a preliminary review and recommends conditions to consider during the approval of any of the aforementioned processes. The applicant submitted what they labeled a Preliminary Tree Management Plan, which is contained in the attachments.

On September 27, 2022, City Landscape Architect & Arborist Mike Furbush provided the following comments on the proposed layout and site plan:

“...In reviewing the rezoning application, there is not enough information provided to reasonably review the required Tree Management Plan. The proposed plan does not include required information...”



Motion by Councilman Guillaume, seconded by Councilman Shell to accept the recommendation from the Planning Commission.

**MOTION CARRIED. (7-0)**

Councilman Alexander asked for clarification on the reduction. Mr. Smith stated it is a reduction from 65 ft to 25 ft on the interstate. The applicant, Donald Sprayberry stated this would be the last change requested and that it would be an electronic billboard on one side and one side static.

Councilman Koritko asked if moving the billboard and having to remove vegetation, would that create an eye sore? Mr. Smith stated that the maximum height allowed is 65 ft and the ordinance states there is a responsibility for maintenance and electronic signs have further regulations. If it not maintained the City Code Enforcement can step in.

Motion by Councilman Shell, seconded by Councilman Guillaume to approve the rezoning.

**MOTION CARRIED. (7-0)**

**PUBLIC HEARING – REZONING REQUEST RZ2022-12; SOUTHERN DEVELOPMENT, LLC, 3.3+ ACRES AT 420 JEFFERSON ST. (TAX PARCEL #N57D-096); FROM RS-15 (SUBURBAN RESIDENTIAL SINGLE-FAMILY DWELLING DISTRICT MEDIUM DENSITY) TO CGN (GENERAL COMMERCIAL DISTRICT) FOR THE PURPOSE OF ESTABLISHING A FOOD SERVICE CONTAINER BUILDING – CONSIDERATION OF ORDINANCE**

Mayor Brady explained that a letter was submitted from Joshua Harris at Southern Development, asking for an extension until the second meeting in January 2023. The City Attorney was asked whether the public hearing should be opened and continued or just move the entire item? Mr. Sears said he had discussed this with the Planning Director, Tracy Dunnavant and the issue would be resending letters. There is a 120-day limit for Council to act so that would need to be extended as well.

Mayor Brady asked if anyone was present to speak for or against this item? No one was present for this item. The concern was that people would think the public hearing happened and not realize it was being continued.

Mayor Brady opened the public hearing and asked for a motion to continue the public hearing to the January 24, 2023 meeting.

Councilman Guillaume asked for clarification as to why the applicant is asking for an extension. Mr. Smith stated he may be changing his request.

Motion by Councilwoman Jenkins, seconded by Councilman Shell to continue the public hearing until the January 24, 2023 meeting, extend past the 120-day requirement and instruct staff to re-send letters and re-advertise.

**MOTION CARRIED. (7-0)**

**PUBLIC HEARING – REZONING REQUEST RZ2022-10 BY DANIEL LICHTY ON BEHALF OF MORANNA CONSTRUCTION, INC.; 0.970 ACRES AT 170 LAGRANGE ST. (TAX PARCEL #N28 004B) FROM RS-15 (SUBURBAN RESIDENTIAL SINGLE-FAMILY DWELLING- MEDIUM DENSITY) TO RU-7 (URBAN RESIDENTIAL SINGLE-FAMILY DISTRICT – HIGH DENSITY) – CONSIDERATION OF ORDINANCE**

Mayor Brady opened the public hearing.

Tracy Dunnivant, Planning Director, explained that this site was a 6-unit apartment that was destroyed in the tornado. As currently zoned they could do two lots with single-family homes with minimum lot sizes of 15,000 sq ft. The request is to subdivide the property into 3 lots with minimum lot sizes of 7,500 sq ft, however the applicant is showing lot sizes ranging from 16,797 sq ft to 12,492. The lots would require a variance for lot width and street frontage.

Ms. Dunnivant gave an overview of the 8 required standards. Staff felt the proposed use would be suitable in view of zoning and nearby properties and that there would be no adverse impact on nearby properties. Architectural renderings show plans to complement the character of the historic neighborhood. The property could be used as currently zoned.

There would not be an excessive or burdensome use of public facilities and it is compatible with the Comprehensive Plan. As it is currently zoned for 2 homes, the request only adds one additional unit. In summary, Staff found the development met 7 of the 8 standards. Planning Commission voted unanimously to approve the rezoning with the following conditions:

- Homes will be consistent with the character shown in the architectural renderings and certificate of appropriateness will be required for each house.
- Four existing crepe myrtles will be incorporated into the overall design.
- Driveway access will continue to be provided to the 174 Lagrange St. property.
- The lot width and frontage for the three lots will be reduced from 75 to 65 feet as depicted on the concept plan.

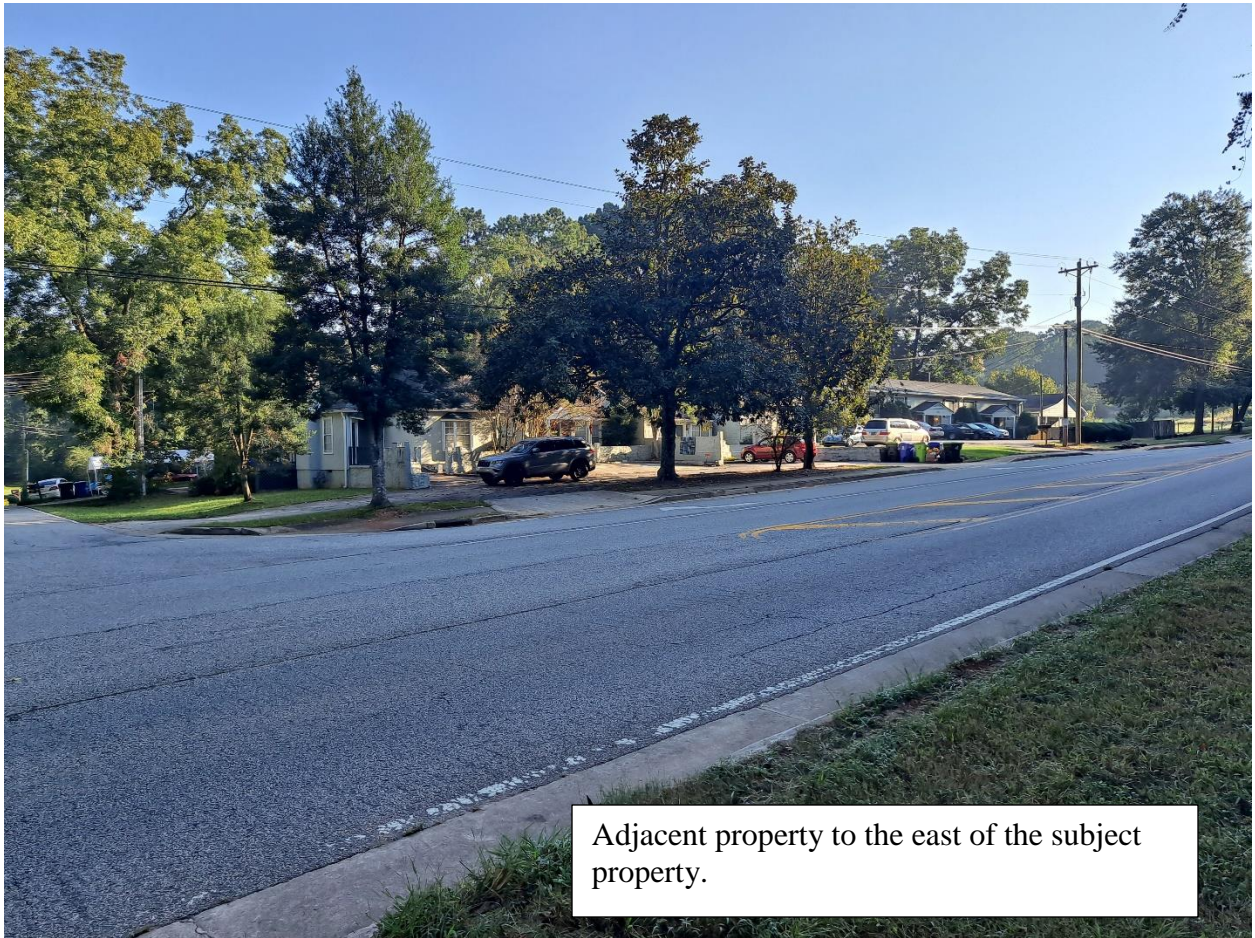
Applicant:

Shane Hamilton stated that the main goal is to help with the costs of living and keep the look of the area and help to remove an eye sore.

No one spoke in opposition to the rezoning request.

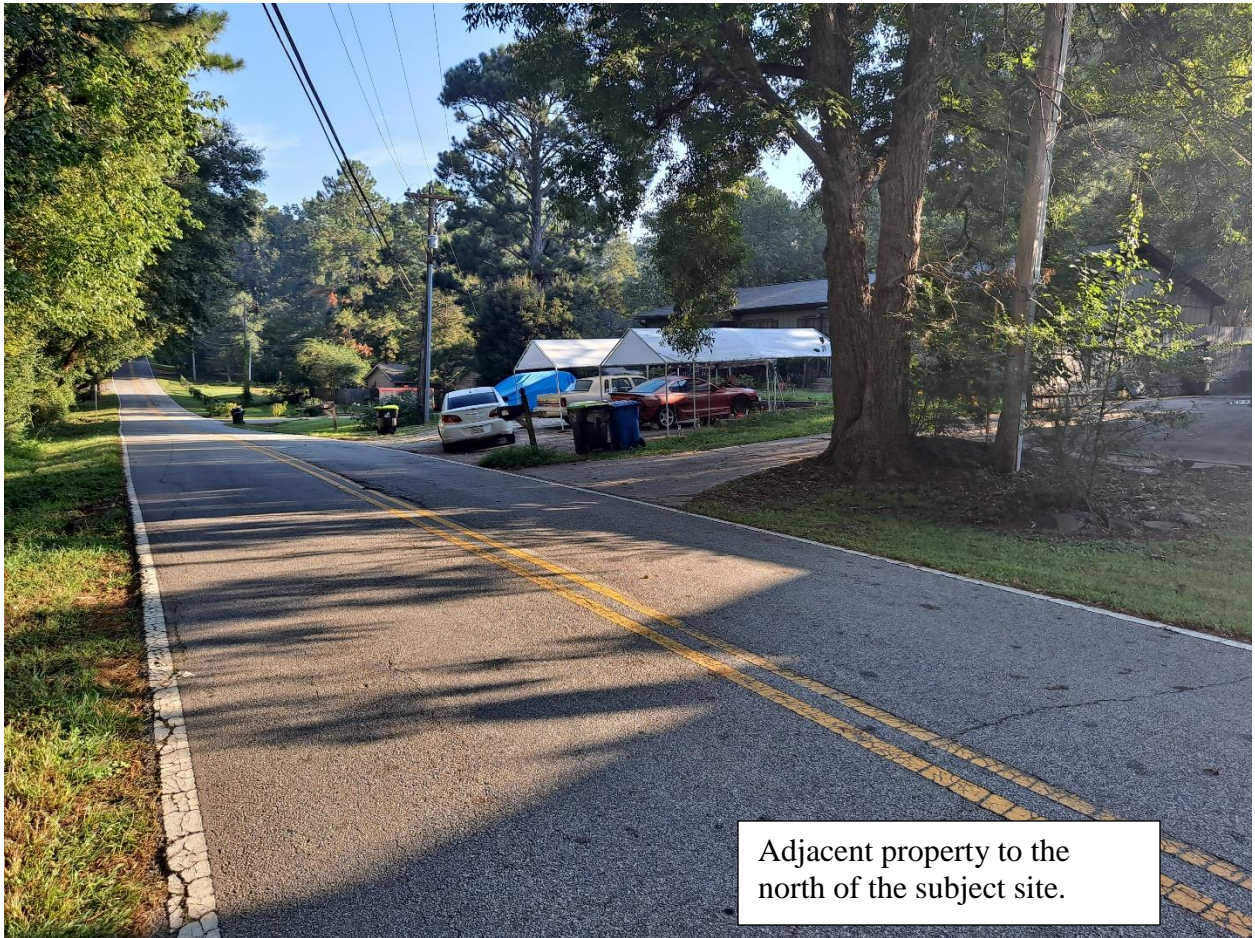


Subject property



Adjacent property to the east of the subject property.





Adjacent property to the north of the subject site.

Southern Development, LLC  
Land Lot 55, 5<sup>th</sup> LD  
3.31± acres, corner of Jefferson  
Street and Anthony Drive  
Tax Parcel #N57D 096

**ORDINANCE TO AMEND THE ZONING MAP FOR PROPERTY  
LOCATED IN LAND LOT 55 OF THE 5<sup>th</sup> LAND DISTRICT  
3.31± ACRES, CORNER OF JEFFERSON STREET AND ANTHONY DRIVE IN  
THE CITY OF NEWNAN, GEORGIA**

WHEREAS, the owner of the property described herein has filed an application to request a change in the City of Newnan's Zoning Classification of R5-15 (Suburban Residential Single-Family Dwelling District-Medium Density) for the property shown on Exhibit "A" (hereinafter the "Property") to the City of Newnan's Zoning Classification CGN (General Commercial District); and

WHEREAS, in accordance with the requirements of the City's Zoning Ordinance, the Planning Commission of the City of Newnan has forwarded its recommendation to the City Council; and

WHEREAS, pursuant to said requirements of the City's Zoning Ordinance, the City Council has conducted a properly advertised public hearing on the rezoning application not less than 15 nor more than 45 days from the date of publication of notice, which public hearing was held on the 22<sup>nd</sup> day of November, 2022; and

WHEREAS, after the above-referenced public hearing, the City Council has determined the requested change in the City's Zoning Classification for the Property would be in the best interest of the residents, property owners and citizens of the City of Newnan, Georgia.

NOW THEREFORE BE IT ORDAINED, by the City Council of the City of Newnan, Georgia, that the Zoning Map of the City of Newnan be revised as follows:

Section I. That the City's Zoning Classification for the Property described on Exhibit "A" attached hereto and by reference made a part hereof be and is hereby rezoned from R5-15 (Suburban Residential Single-Family Dwelling District-Medium Density) to CGN (General Commercial District) subject to the following condition:

- 1) Though the property be rezoned to CGN, the only permitted use for the property shall be exclusively for a food service container/restaurant building, outdoor seating and parking

Section II. All ordinances or parts of ordinances in conflict or inconsistent with this Ordinance hereby are repealed.

Section III. Severability. In the event any section, subsection, sentence, clause, or phrase of this ordinance shall be declared or adjudged invalid or unconstitutional, such adjudication shall in no manner affect the previously existing provisions of the other sections, subsections, sentences, clauses, or phrases of this ordinance, which shall remain in full force and effect as if the section, subsection, sentence, clause, or phrase so declared or adjudicated invalid or unconstitutional were not originally a part thereof. The City Council hereby declares that it would have passed the remaining parts of this ordinance or retained the previously existing provisions if it had known that such part or parts hereof would be declared or adjudicated invalid or unconstitutional.

Section IV. This ordinance shall be effective upon adoption.

DONE, RATIFIED, and PASSED, by the City Council of the City of Newnan, Georgia, this the \_\_\_\_ day of \_\_\_\_\_, 2022 in regular session assembled.

ATTEST:

\_\_\_\_\_  
Megan Shea, City Clerk

\_\_\_\_\_  
L. Keith Brady, Mayor

REVIEWED AS TO FORM:

\_\_\_\_\_  
Raymond F. DuBose, Mayor Pro-Tem

\_\_\_\_\_  
C. Bradford Sears, Jr., City Attorney

\_\_\_\_\_  
George M. Alexander, Councilmember

\_\_\_\_\_  
Cleatus Phillips, City Manager

\_\_\_\_\_  
Cynthia E. Jenkins, Councilmember

\_\_\_\_\_  
Rhodes H. Shell, Councilmember

\_\_\_\_\_  
Dustin Koritko, Councilmember

\_\_\_\_\_  
Paul Guillaume, Councilmember

- SURVEYOR NOTES**
1. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OR RECORD ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.
  2. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREIN. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.
  3. THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS.
  4. THE EXISTENCE, SIZE, AND LOCATION OF IMPERVIOUS BUFFERS ARE SUBJECT TO FINAL DETERMINATION BY THE LOCAL ISSUING AUTHORITY, CITY, OR COUNTY.
  5. OWNERSHIP OF IMPROVEMENTS MADE TO THE PROPERTY WHICH CREATE AN ENCROACHMENT CAN NOT BE DETERMINED SOLELY BY ON-SITE INSPECTION. ENCROACHMENTS DETECTED ON THIS PLAT MAY NOT REPRESENT THE CORRECT OWNERSHIP.

**NOTE**  
THE PURPOSE OF THIS PLAT IS FOR REZONING.

**CURRENT ZONING**  
ZONING DISTRICT RS-1S  
FRONT: 30/55' 45/95'  
SIDES: 12'  
REAR: 35'

N/E  
SOUTHERN DEVELOPMENT, LLC  
PLAT BOOK 100  
PAGE 132  
TRACT 3

- LEGEND**
- ⊙ IRON PIN FOUND
  - ⊙ IRON PIN SET
  - ⊙ PROPERTY CORNER
  - ⊙ POWER POLE
  - ⊙ FIRE HYDRANT
  - ⊙ TELEPHONE PEDESTAL
  - ⊙ WATER METER
  - ⊙ DROP INLET
  - ⊙ MANHOLE
  - ⊙ HARDWOOD TREE
  - ⊙ PINE TREE
  - ⊙ WATER VALVE
  - ⊙ SANITARY SEWER

BEARINGS ARE BASED ON GRID NORTH GEORGIA WEST ZONE

RESERVED FOR CLERK OF SUPERIOR COURT

**REFERENCE**  
DEED BOOK 307 PAGE 328  
PLAT BOOK 100 PAGE 132  
PLAT BOOK 18 PAGE 179  
DEED BOOK 287 PAGES 314-321 (ROW)  
PLAT BOOK 72 PAGE 240

**ADDRESS:**  
2 ANTHONY DRIVE  
NEWMAN, GEORGIA 30263

OR  
420 JEFFERSON STREET  
NEWMAN, GEORGIA 30263

**OWNER:**  
SOUTHERN DEVELOPMENT LLC  
P O BOX 2929  
NEWMAN, GA 30271

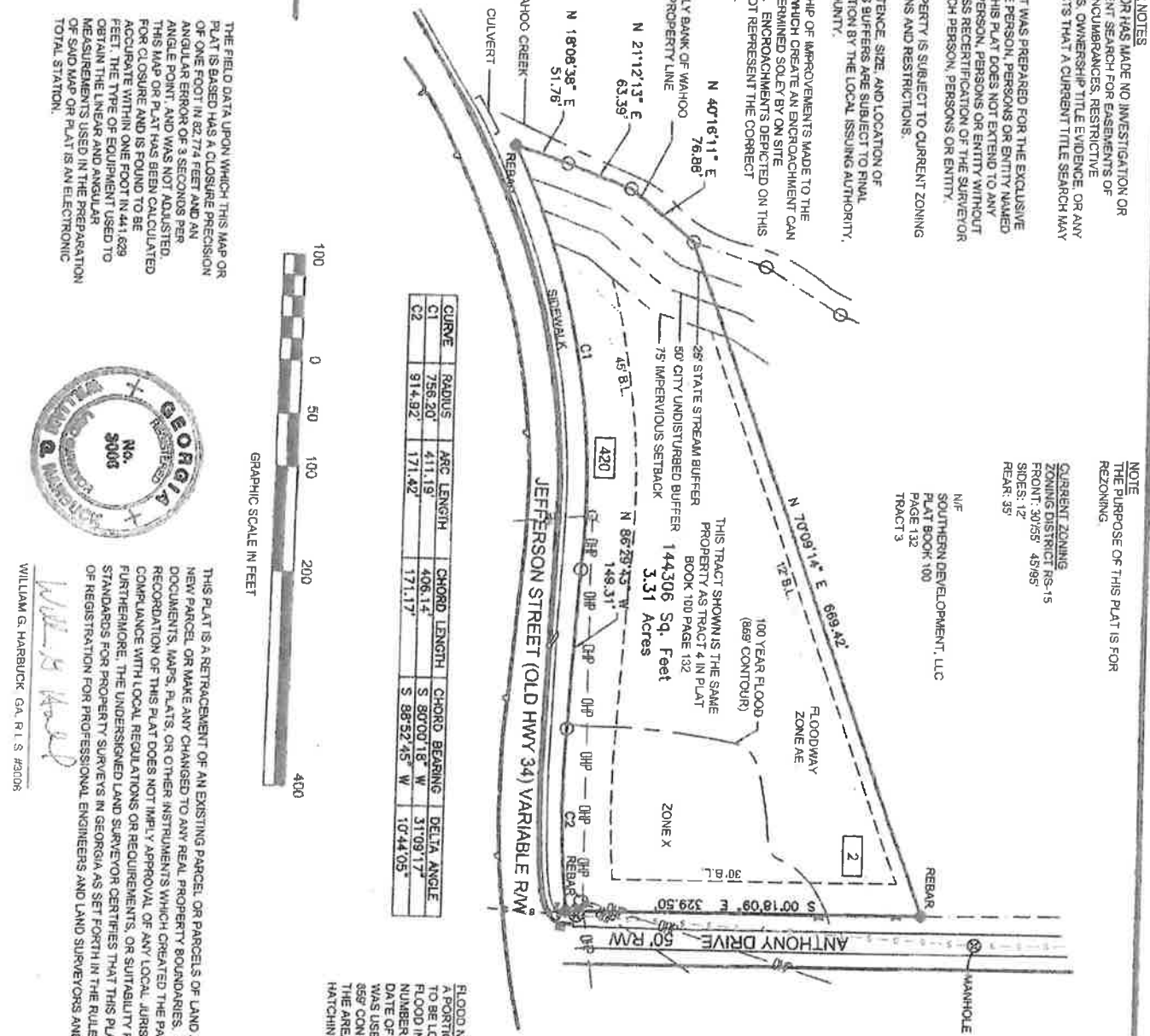
**DEVELOPER:**  
SOUTHERN DEVELOPMENT LLC  
P O BOX 7328  
NEWMAN, GA 30271

**BOUNDARY SURVEY FOR:**  
**SOUTHERN DEVELOPMENT, LLC**

LAND LOT 55  
5TH DISTRICT  
COVETA COUNTY, GEORGIA  
CITY OF NEWMAN

**HARBUCK LAND SURVEYORS, INC**

LAND SURVEYOR FIRM NO. 595  
WILLIAM G. HARBUCK  
GEORGIA REGISTERED LAND SURVEYOR NO. 3006  
503 JEFFERSON STREET  
NEWMAN, GA 30263  
770-253-5585  
HARBUCKLANDSURVEYORS@GMAIL.COM  
SCALE: 1" = 100'  
01.19.2022  
FIELD WORK: 01.02.2022



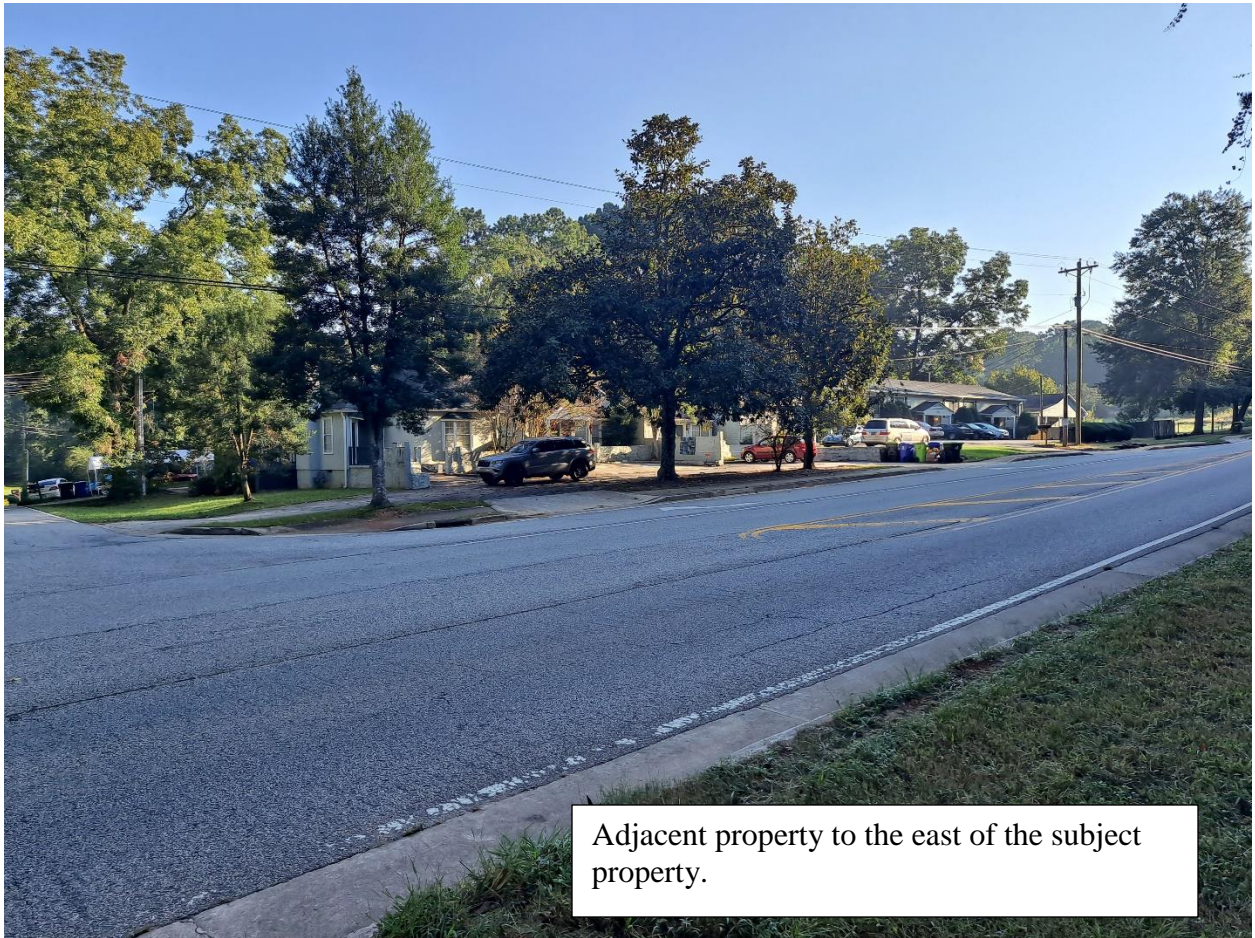
THIS PLAT IS A SETBACKMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. THE RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-9-67.

WILLIAM G. HARBUCK

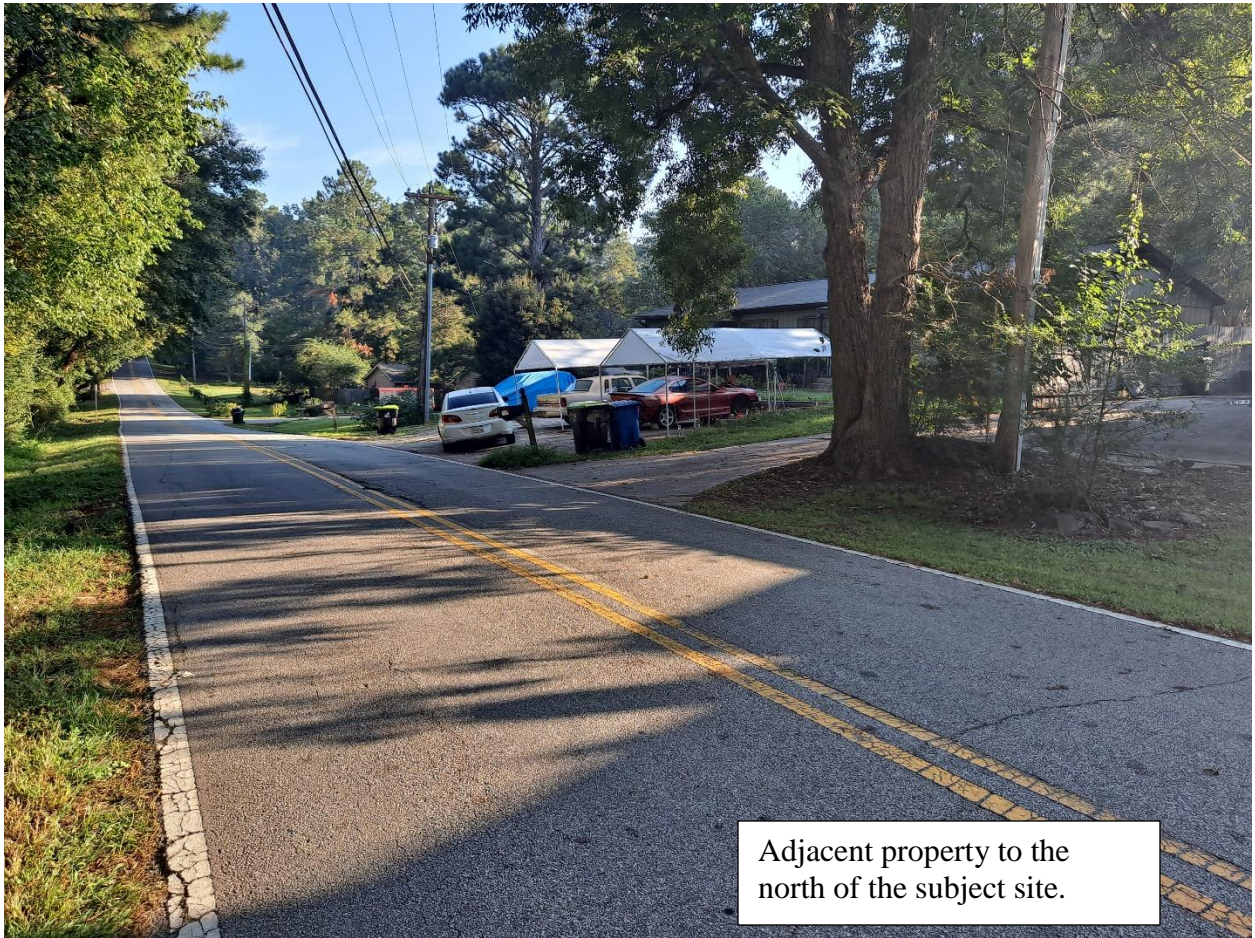
WILLIAM G. HARBUCK G.A.R.I.S. #3006



Subject property

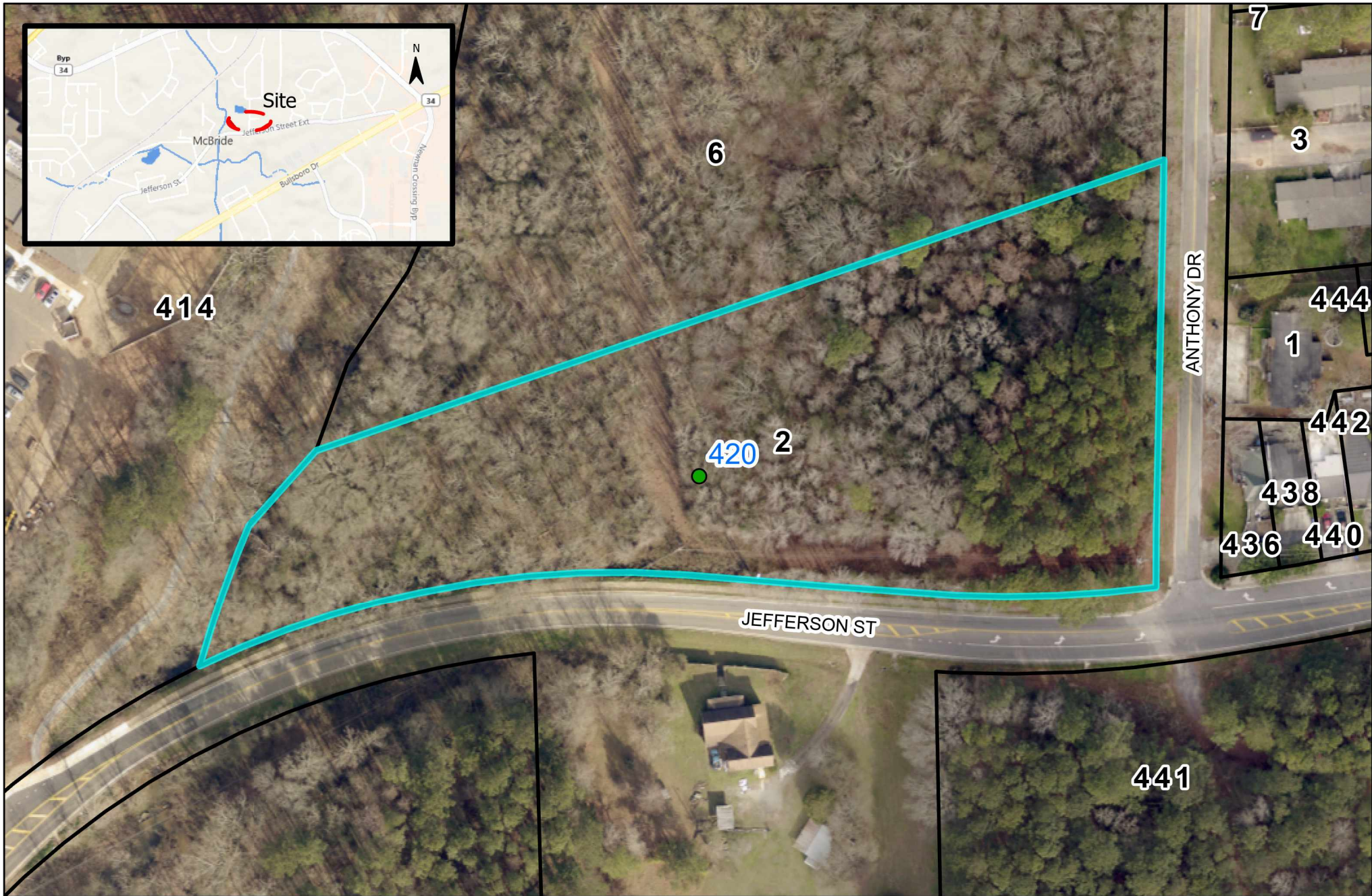


Adjacent property to the east of the subject property.



Adjacent property to the north of the subject site.





**CITY OF NEWNAN**



CITY OF NEWNAN  
 PLANNING DEPT.  
 25 LAGRANGE STREET  
 NEWNAN, GEORGIA 30263  
[www.cityofnewnan.org](http://www.cityofnewnan.org)

**Project Location**

1 = 1,200 feet

Date: 9/6/2022 10:22 AM



 Project Location

 City Limits

Parcel # N57D 096

ADD 193  
 420 JEF  
 Newnan, GA 30263



**CITY OF NEWNAN, GEORGIA  
Planning & Zoning Department**

25 LaGrange Street  
Newnan, Georgia 30263  
Office (770) 254-2354  
Fax (770) 254-2361

**NEWNAN**  
GEORGIA

**APPLICATION TO AMEND ZONING MAP**

**Note to Applicant:** Please be sure to complete all entries on the application form. If you are uncertain to the applicability of an item, contact The Planning & Zoning Department at 770-254-2354. Incomplete applications or applications submitted after the deadline will not be accepted.

Name of Applicant Southern Development LLC

Mailing Address P.O. Box 73829, Newnan, Ga 30271

Telephone 803-605-8396 Email: jharris@jbharris.com

Property Owner (Use back if multiple names) same as applicant

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_

Address/Location of Property 420 Jefferson Street - corner of Jefferson St Ext & Anthony Dr

Tax Parcel No.: N57D 096 Land Lot 55

District/Section 5th Size of Property (Square Feet or Acres) 3.3 acres

Present Zoning Classification: RS-15 Proposed Zoning Classification: CGN

Present Land Use: Vacant land

To the best of your ability, please answer the following questions regarding the application:

Explain how conditions have changed that renders the zoning map designation invalid and no longer applicable  
The growth of Bullsboro Dr/Hwy 34 has extended to and beyond this parcel and this parcel would not be desirable for single family residential use.

If the proposed zoning map change is an extension of an existing adjacent zoning district, provide an explanation why the proposed extension should be made \_\_\_\_\_

If the requested change is not designed to extend an adjacent zoning district, explain why this property should be placed in a different zoning district than all adjoining property. In other words, how does this property differ from adjoining property and why should it be subject to different restrictions? It is a large corner lot with sidewalks that run from downtown to Hwy 34 and is surrounded on 3 sides by Commercial & Multi-family. The residential parcel that is adjacent is separated by a large wooded buffer and is accessed via a different street. With so many Commercial businesses, apartment complexes, medical offices, school & day care and other consumer destinations close by, this parcel is ideal for something that will serve the local community and is line with the Built Community area that is designated on the Future land use map.

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**Please attach all the following items to the completed application and must also be furnished in digital, pdf format:**

1. A letter of intent giving the details of the proposed use of the property which should include, at a minimum, the following information:
  - What the property is to be used for, if known.
  - The size of the parcel or tract.
  - The zoning classification requested and the existing classification at the filing of this application.
  - The number of units proposed.
  - For non-residential projects, provide the density of development in terms of floor area ratio (FAR).
  - Any proposed buffers and modification to existing buffers.
  - Availability of water and sewer facilities including existing distance to property.
2. Name and mailing addresses of all owners of all property within 250 feet of the subject property (available from the County Tax Assessor records). This is encouraged to be submitted in a mail merge Microsoft Word data file format.
3. Legal description of property. This description must establish a point of beginning; and from the point of beginning, give each dimension bounding the property that the boundary follows around the property returning to the point of beginning. If there are multiple property owners, all properties must be combined into one legal description. If the properties are not contiguous, a separate application and legal description must be submitted for each property. For requests for multiple zoning districts, a separate application and legal description must be submitted for each district requested. A copy of the deed may substitute for a separate description.
4. A certified plat (stamped and dated) drawn to scale by a registered engineer, architect, land planner, land surveyor, or landscape architect that shall include the following information:
  - ✓ Boundary survey showing property lines with lengths and bearings
  - ✓ Adjoining streets, existing and proposed, showing right-of-way
  - ✓ Locations of existing buildings dimensioned and to scale, paved areas, dedicated parking spaces, and other property improvements
  - ✓ North arrow and scale
  - ✓ Adjacent land ownership, zoning and current land use
  - ✓ Total and net acreage of property
  - ✓ Proposed building locations
  - ✓ Existing and proposed driveway(s)
  - ✓ Lakes, ponds, streams, and other watercourses
  - ✓ Floodplain, wetlands, and slopes equal to or greater than 20 percent
  - ✓ Cemeteries, burial grounds, and other historic or culturally significant features
  - ✓ Required and/or proposed setbacks and buffers
5. Submit one survey (1) hard copy in an 18" x 24" format and one copy in a pdf digital file format.
6. Completed Proffered Conditions form.
7. Completed Disclosure of Campaign Contributions and Gifts form.
8. If the applicant and the property owner are not the same, complete the Property Owner's Authorization form and/or the Authorization of Attorney form.
9. For multiple owners, a Property Owner's Authorization form shall be submitted for each owner.
10. A community impact study must be submitted if the development meets any of the following criteria:
  - Office proposals in excess of 200,000 gross square feet
  - Commercial proposals in excess of 250,000 gross square feet
  - Industrial proposals which would employ over 500 persons
  - Multi-Family proposals in excess of 150 units

- 11. A Development of Regional Impact form shall be completed and submitted to the City if the request meets any of the criteria in §10-10 (b)(2)(h) on page 10-7 of the Newnan Zoning Ordinance.
- 12. Fees for Amending the Zoning Map shall be made payable to the **City of Newnan** and are listed below:
  - Single-Family Application.....\$500.00/Plus \$15.00 Per Acre
  - Multi-Family Application.....\$500.00/Plus \$25.00 Per Acre
  - Office/Institutional Application.....\$500.00/Plus \$15.00 Per Acre
  - Commercial Application.....\$500.00/Plus \$25.00 Per Acre
  - Industrial Application.....\$500.00/Plus \$15.00 Per Acre
  - Mixed Use Application.....\$500.00/Plus Per Acre fee based upon proposed land use.
  - Planned Development Application.....\$500.00/Plus per Acre fee based upon proposed land use.
  - Overlay Zoning Application.....\$350.00

**PLEASE NOTE: THIS APPLICATION MUST BE FILED BY THE 1st OF THE MONTH TO BE CONSIDERED FOR THE PLANNING COMMISSION MEETING OF THE FOLLOWING MONTH.**

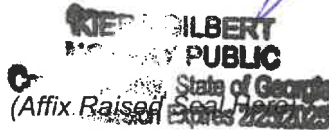
I (We) hereby authorize the staff of the City of Newnan to inspect the premises of the above-described property. I (We) do hereby certify the information provided herein is both complete and accurate to the best of my (our) knowledge, and I (we) understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application.

Sworn to and subscribed before me this

19 day of August, 2022

Signature of Applicant

Kiera Gilbert  
Notary Public



**FOR OFFICIAL USE ONLY**

DATE OF PRE-APPLICATION CONFERENCE : \_\_\_\_\_

RECEIVED BY: \_\_\_\_\_

DATE OF FILING: \_\_\_\_\_

FILING FEE RECEIVED: \_\_\_\_\_

DATE OF NOTICE TO NEWSPAPER: \_\_\_\_\_

DATE OF PUBLIC HEARING: \_\_\_\_\_

PLANNING COMMISSION RECOMMENDATION (DATE): \_\_\_\_\_

DATE OF TRANSMITTAL TO CITY COUNCIL: \_\_\_\_\_

CITY COUNCIL DECISION (DATE): \_\_\_\_\_



City of Newnan, Georgia  
Attachment A  
Proffered Conditions

**NEWNAN**  
GEORGIA

As part of an application for a rezoning, a property owner **MAY** proffer, in writing, proposed conditions to apply and be part of the rezoning being requested by the applicant. Proffered conditions may include written statements, development plans, profiles, elevations, or other demonstrative materials.  
*(Please refer to Article 10 of the Zoning Ordinance for complete details.)*

Please list any written proffered conditions below:

See letter of intent and attached p concept plans.

Any development plans, profiles, elevations, or other demonstrative materials presented as proffered conditions shall be referenced below and attached to this application:

Examples of the proposed structure type & design are attached.

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

*[Handwritten Signature]*  
\_\_\_\_\_  
Signature of Applicant

Josh Harris Member  
\_\_\_\_\_  
Type or Print Name and Title

\_\_\_\_\_  
Signature of Applicant's Representative

\_\_\_\_\_  
Type or Print Name and Title

*Kiera Gilbert* 8/19/22  
\_\_\_\_\_  
Signature of Notary Public                      Date

**KIERA GILBERT**  
**NOTARY PUBLIC**  
Covington County, State of Georgia  
My Commission Expires 2/25/2025

Southern Development LLC  
Josh Harris, Member  
803-605-8396  
jharris@jbharris.com

August 17, 2022

Ms. Tracy Dunnavant, Planning Director  
The City of Newnan  
25 LaGrange Street  
Newnan, GA 30263

RE: Southern Development LLC Application to Amend Zoning Map  
Approximately 3.3 acres located at 420 Jefferson Street – corner of Jefferson St Ext & Anthony Dr

Dear Ms. Dunnavant:

Southern Development LLC is the owner and applicant for the rezoning application of 420 Jefferson Street, Newnan, GA 30263, parcel N57D 096. The property is approximately 3.3 acres with Wahoo Creek as the Western property line. A large portion of the property is in flood plain and the corner would be the area most suitable for development. The site is served by city water and sewer and has sidewalk access all the way to downtown Newnan and to many commercial businesses on and off Jefferson Street and shopping centers on Bullsboro Drive. The current zoning is RS-15 and the requested new zoning is CGN. The property is currently surrounded by Residential, Multi-Family, Commercial & Industrial properties. The City of Newnan Comprehensive Plan designates the Future Land Use of this property as "Built Community" which is defined as "Areas that have been developed with a variety of residential dwellings and nonresidential uses that provide goods and services to the surrounding neighborhoods." This is in keeping with the proposed use of the property as described below.

We are proposing a small food service container building of no more than 2000 square feet with lots of green space and tables and benches to enjoy the natural beauty of the wooded area and Wahoo Creek. The use would serve the local community and all the nearby residents who could walk, bike, etc. to the site and enjoy a cup of coffee or other beverages and/or light bites of food.

Attached are several examples of structures similar in style and size to the type that we are proposing. One of the examples is actually located at 23 E. Broad Street across from the Coweta County Administration Building in downtown Newnan.

Thank you in advance for your consideration. We look forward to working with the City of Newnan on this proposal. If there are any questions about the application and materials submitted, or should you require any additional information, please contact me.

Respectfully,

Josh Harris, Member  
Southern Development LLC

**LIMITED WARRANTY DEED**

STATE OF GEORGIA  
COUNTY OF COWETA

THIS INDENTURE, Made this 15<sup>th</sup> day of April, 2021 between **JOSEPH WAINSCOTT**, of the first part, and **SOUTHERN DEVELOPMENT, LLC**, a **Georgia Limited Liability Company**, of the State of Georgia and of the second part,

WITNESSETH: That the said party of the first part, for and in consideration of the sum of Ten (\$10,00) Dollars, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the said party of the second part, his heirs and assigns, the following property to-wit:

**ALL THAT TRACT OR PARCEL OF LAND SITUATE, LYING AND BEING IN LAND LOT 55 OF THE 5TH LAND DISTRICT OF COWETA COUNTY, GEORGIA BEING SHOWN AS AREA CONTAINING 11.82 ACRES ON SURVEY PREPARED FOR ELIZABETH JOHNSON, RECORDED IN PLAT BOOK 99, PAGE 171, COWETA COUNTY, GEORGIA RECORDS. REFERENCE TO WHICH PLAT IS HEREBY MADE FOR A MORE ACCURATE DESCRIPTION OF THE PROPERTY HEREIN CONVEYED.**

**SUBJECT TO ALL RESTRICTIONS AND EASEMENTS OF RECORD.**


TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said parties of the second part, their heirs and assigns, forever, in Fee Simple.

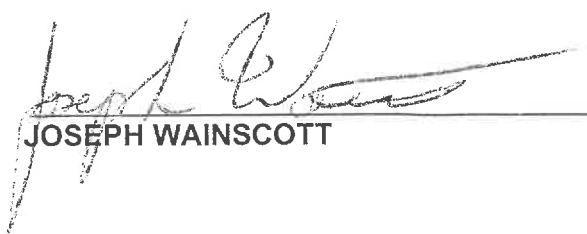
AND THE SAID party of the first part warrants the title to same against the lawful claims of all persons claiming by, through or under grantor, but not otherwise,

Whenever there is a reference to said party of first part and said party of the second part, the singular includes plural and the masculine include the feminine and the neuter, and said terms include and bind the heirs, executors, administrators, successors and assigns of the parties hereto.


IN WITNESS WHEREOF, the said party of the first part has hereunto set its hand and seal the day and year above written.

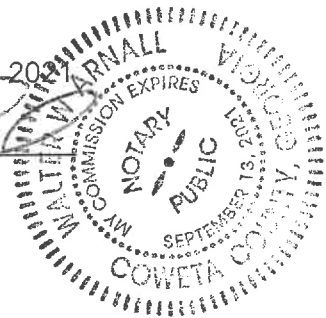
Signed, sealed and delivered in presence of:

  
\_\_\_\_\_  
WITNESS

  
\_\_\_\_\_  
JOSEPH WAINSCOTT

Sworn to and subscribed  
before me this 15<sup>TH</sup> day of April, 2021

  
\_\_\_\_\_  
Notary Public





City of Newnan, Georgia  
Attachment C

## Property Owner's Authorization

The undersigned below, or as attached, is the owner of the property which is the subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of a rezoning of the property.

Name of Property Owner Southern Development LLC by Josh Harris, Member

Telephone Number 803-605-8396

Address of Subject Property 420 Jefferson Street - corner of Jefferson St Ext & Anthony Dr

I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Coweta County, Georgia.

  
\_\_\_\_\_  
Signature of Property Owner

Personally appeared before me

\_\_\_\_\_

who swears the information contained in this authorization is true and correct to the best of his/her knowledge and belief.

  
\_\_\_\_\_  
Notary Public

8/19/2022  
Date

**KIERA GILBERT**  
**NOTARY PUBLIC**  
Coweta County, State of Georgia  
(Affirmation Commission Expires 2/28/25)



RESERVED FOR CLERK OF SUPERIOR COURT

REFERENCE:  
DEED BOOK 307 PAGE 328  
PLAT BOOK 100 PAGE 132  
PLAT BOOK 18 PAGE 119  
DEED BOOK 287 PAGES 314-321 (ROW)  
PLAT BOOK 72 PAGE 240

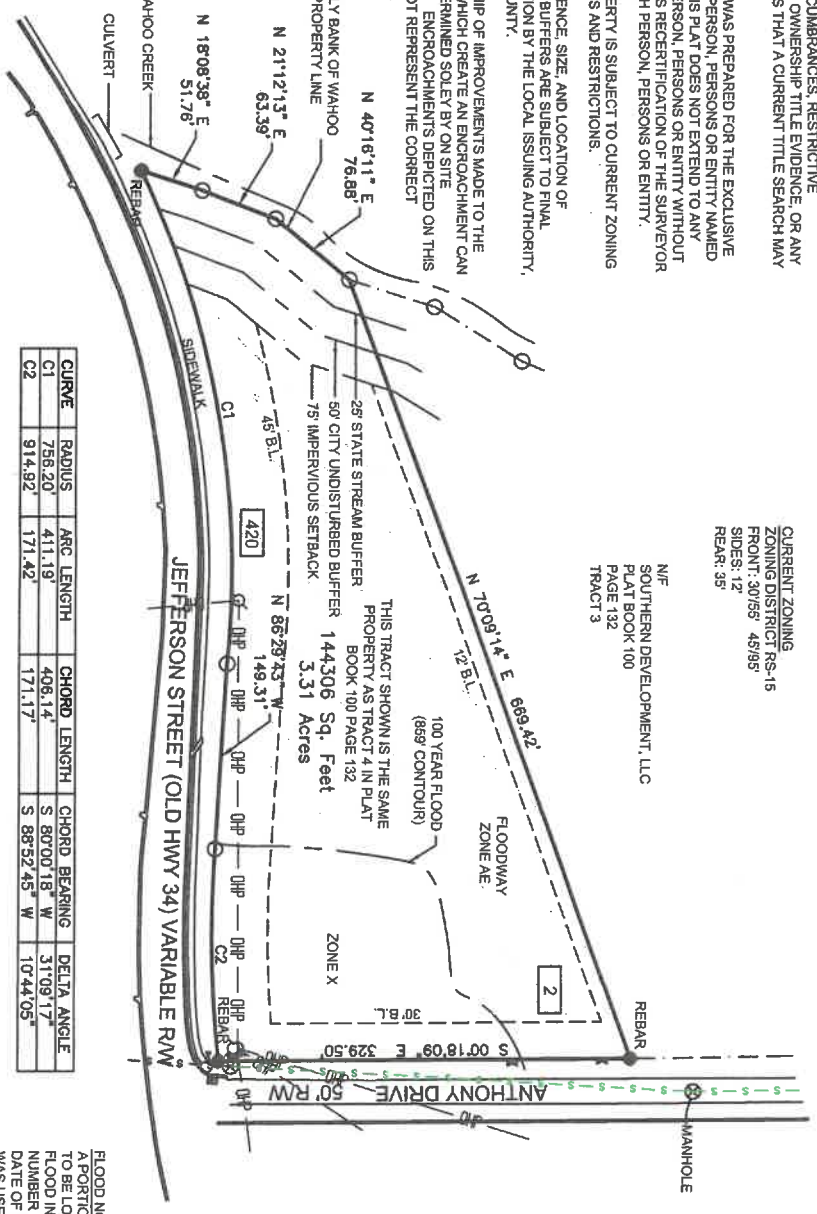
ADDRESS:  
2 ANTHONY DRIVE  
NEWMAN, GEORGIA 30263  
OR  
420 JEFFERSON STREET  
NEWMAN, GEORGIA 30263  
OWNER:  
SOUTHERN DEVELOPMENT LLC  
P O BOX 73829  
NEWMAN, GA 30271  
DEVELOPER:  
SOUTHERN DEVELOPMENT LLC  
P O BOX 73828  
NEWMAN, GA 30271

BOUNDARY SURVEY FOR:  
**SOUTHERN DEVELOPMENT, LLC**  
LAND LOT 55  
5TH DISTRICT  
COWETA COUNTY, GEORGIA  
CITY OF NEWMAN

**HARBUCK LAND SURVEYORS, INC**  
LAND SURVEYOR FIRM NO. 959  
WILLIAM G. HARBUCK  
GEORGIA REGISTERED LAND SURVEYOR NO. 3006  
53C JEFFERSON STREET  
NEWMAN, GA 30263  
770-253-5585  
HARBUCK.LANDSURVEYORS@GMAIL.COM  
SCALE: 1" = 100'  
FIELD WORK: 01.02.2022

**SURVEYOR NOTES**  
1. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.  
2. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.  
3. THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS.  
4. THE EXISTENCE, SIZE, AND LOCATION OF IMPERVIOUS BUFFERS ARE SUBJECT TO FINAL DETERMINATION BY THE LOCAL ISSUING AUTHORITY, CITY, OR COUNTY.  
5. OWNERSHIP OF IMPROVEMENTS MADE TO THE PROPERTY WHICH CREATE AN ENCROACHMENT CAN NOT BE DETERMINED SOLELY BY ON SITE INSPECTION. ENCROACHMENTS DEPICTED ON THIS PLAT MAY NOT REPRESENT THE CORRECT OWNERSHIP.

**NOTE**  
THE PURPOSE OF THIS PLAT IS FOR REZONING.  
**CURRENT ZONING**  
ZONING DISTRICT RS-15  
FRONT: 307/55' 45/195'  
SIDES: 12'  
REAR: 35'



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	756.20'	411.19'	406.14'	S 80°00'18" W	31°09'17"
C2	914.92'	171.42'	171.17'	S 88°52'45" W	10°44'05"



THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL, OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLETS WITH THE MINIMUM TECHNICAL STANDARDS FOR PROFESSIONAL SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-87.

**FLOOD NOTE**  
A PORTION OF THIS PROPERTY WAS FOUND TO BE LOCATED WITHIN FLOOD ZONE AE AND X OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 130770144D WHICH BEARS AN EFFECTIVE DATE OF 02/08/2013. THE 859' CONTOUR ELEVATION WAS USED FOR THE FIRM MAP LISTED ABOVE AND THE 859' CONTOUR WAS LOCATED IN THE FIELD ONLY IN THE AREA SHOWN. ZONE AE HAS BEEN SHOWN WITH HATCHING WHILE ALL OTHER AREAS ARE ZONE X.

**LEGEND**

- ⊙ IRON PIN FOUND
- IRON PIN SET
- ◉ PROPERTY CORNER
- ⊖ POWER POLE
- ⊕ FIRE HYDRANT
- ⊗ TELEPHONE PEDESTAL
- ⊘ WATER METER
- ⊙ DROP INLET
- ⊙ MANHOLE
- ⊙ HARDWOOD TREE
- ⊙ PINE TREE
- ⊙ WATER VALVE
- S — SANITARY SEWER

BEARINGS ARE BASED ON GRID NORTH GEORGIA WEST ZONE

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 82,774 FEET AND AN ANGULAR ERROR OF 3 SECONDS PER ANGLE POINT, AND WAS NOT ADJUSTED. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 44,182 FEET. THE TYPE OF EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF SAID MAP OR PLAT IS AN ELECTRONIC TOTAL STATION.

W.G. Harbuck  
WILLIAM G. HARBUCK, GA. R.L.S. #3006

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1. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EVIDENCE OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.
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**NOTE**

THE PURPOSE OF THIS PLAT IS FOR REZONING.

**CURRENT ZONING**  
 ZONING DISTRICT RS-15  
 FRONT: 307/55' 49/95'  
 SIDES: 12'  
 REAR: 35'

**SITE PLAN**

**LEGEND**

- IRON PIN FOUND
- IRON PIN SET
- PROPERTY CORNER
- POWER POLE
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- WATER METER
- DROP INLET
- MANHOLE
- HARDWOOD TREE
- PINE TREE
- WATER VALVE
- SANITARY SEWER

BEARINGS ARE BASED ON GRID NORTH GEORGIA WEST ZONE

RESERVED FOR CLERK OF SUPERIOR COURT

**REFERENCE**  
 DEED BOOK 307 PAGE 328  
 PLAT BOOK 100 PAGE 132  
 DEED BOOK 16 PAGE 179  
 DEED BOOK 287 PAGES 314-321 (ROW)  
 PLAT BOOK 72 PAGE 240

**ADDRESS:**  
 2 ANTHONY DRIVE  
 NEWMAN, GEORGIA 30263  
 OR  
 420 JEFFERSON STREET  
 NEWMAN, GEORGIA 30263

**OWNER:**  
 SOUTHERN DEVELOPMENT LLC  
 P O BOX 73829  
 NEWMAN, GA 30271

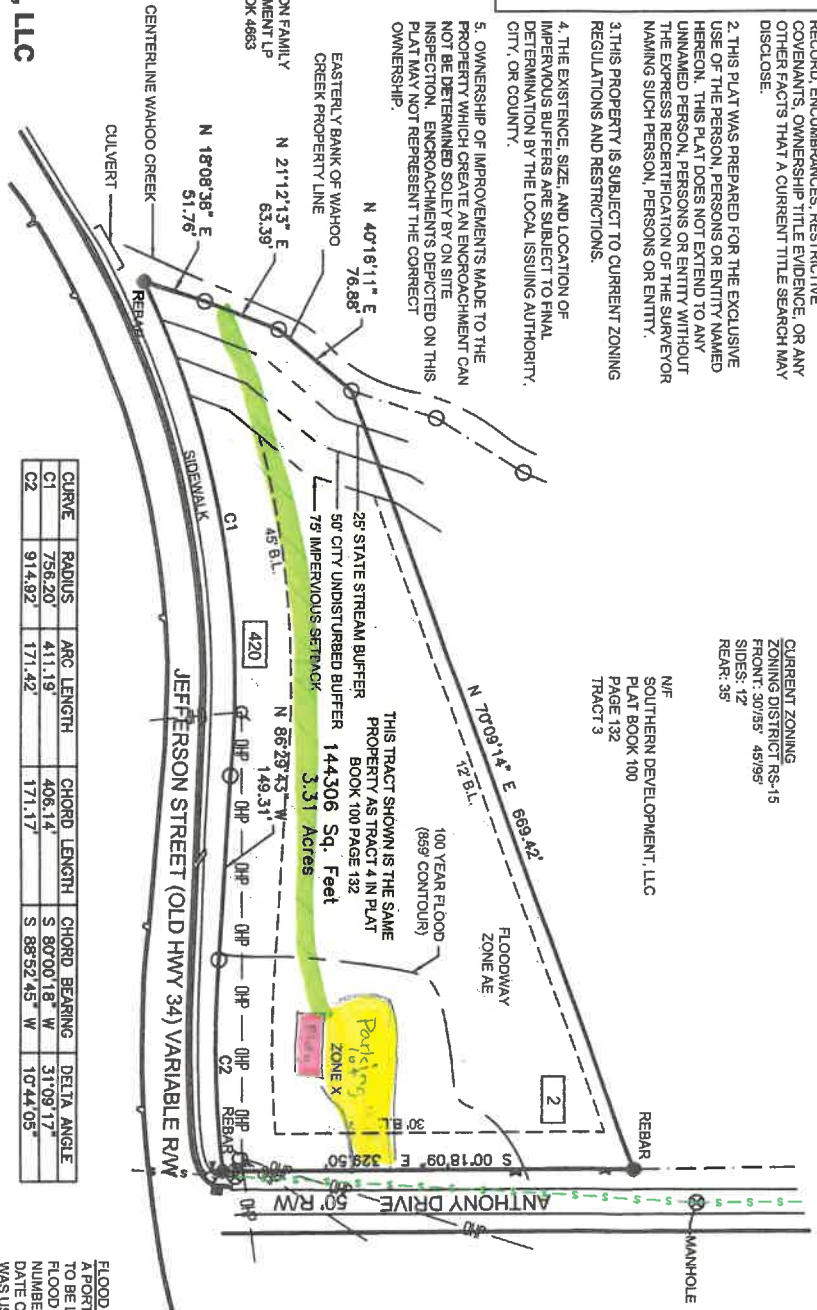
**DEVELOPER:**  
 SOUTHERN DEVELOPMENT LLC  
 P O BOX 73829  
 NEWMAN, GA 30271

**BOUNDARY SURVEY FOR:**  
**SOUTHERN DEVELOPMENT, LLC**

LAND LOT 55  
 5TH DISTRICT  
 COWETA COUNTY, GEORGIA  
 CITY OF NEWMAN

**HARBUCK LAND SURVEYORS, INC**

LAND SURVEYOR FIRM NO.: 989  
 WILLIAM G. HARBUCK  
 GEORGIA REGISTERED LAND SURVEYOR NO. 3006  
 530 JEFFERSON STREET  
 NEWMAN, GA 30263  
 770-253-5585  
 HARBUCKLANDSURVEYORS@GMAIL.COM  
 SCALE: 1" = 100'  
 01.19.2022  
 FIELD WORK: 01.02.2022



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	756.20'	411.19'	406.14'	S 80°00'18" W	31°09'17"
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THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 82 774 FEET AND AN ANGULAR ERROR OF 3 SECONDS PER ANGLE POINT AND WAS NOT ADJUSTED. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 441,629 FEET. THE TYPE OF EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF SAID MAP OR PLAT IS AN ELECTRONIC TOTAL STATION.

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGED TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-8-87.

WILLIAM G. HARBUCK, GA. R.L.S. #3006

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Overview



Legend

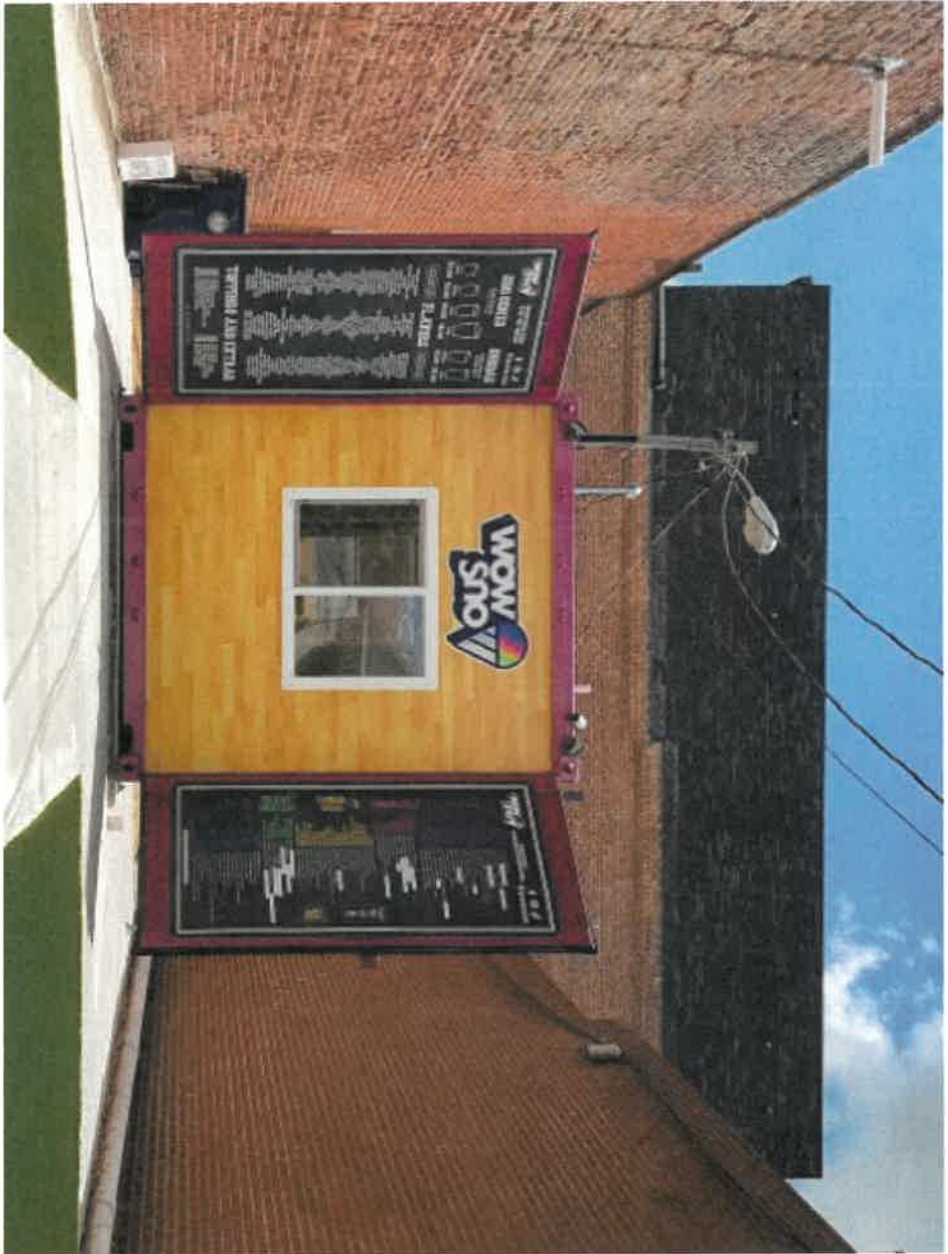
-  Parcels
-  Roads



Parcel ID N57D 096 Owner SOUTHERN DEVELOPMENT LLC Last 2 Sales

Class Code Residential PO BOX 73829 Date 4/15/2021 Price Reason Qual

Taxing District NFWNMAN 02 ANNEX NFWNAN, GA 30271 0 04 U



LOCATED IN NEWNAM  
23 East Broad Street











To: Mr. Chris Cole, Ms. Tracy Dunnavant, City of Newnan  
Planning Commission Members and Chair,

I have lived on Lynn Circle for twenty-seven years. It is a quite and wonderful place to live and a lot of people do not know it is there. Over the years many of the home owners have passed away or moved and there has been new transition to home owners and renters. We have great people who live in this community from older to young couples, family with kids single people, English speaking and Spanish speaking people. We all choose to live here in a RESIDENTIAL neighborhood.

Southern Development LLC bought the property of our elderly neighbor and split the property into four sections. The property in question for the rezoning, along with 6 and 10 Anthony Drive. The purchase was made knowing that it was residential property. In the applications it was stated "The growth of Bullsboro has extended to and beyond this parcel and that this parcel would not be desirable for single family residential use." Is just not true. On Jefferson Street the whole mid-section is houses, apartments, pasture and woodland area. In this housing market a house where the request for the shipping container to be placed would work fine. People are begging for homes that fit that bill. I know they are flippers but they need to be builders. It is not fair to the City of Newnan to start setting precedents for builders or investors who do not want to finish a job to re-zone and stick a shipping container on a property. We need homes not shipping containers.

Southern Development LLC owners did not present any information in their request which is concerning. There is no impact study on the following issues.

1. The flooding on Anthony, this has always flood during be rains. There is no flood information from the US Army Corp of Engineers, no reports on Georgia Wetlands, or Georgia Stormwater Management Ordinance for the City of Newnan

2. There is no impact study on “people just hanging out drinking coffee”
3. Regulatory criteria to consider: In February 2022, Newnan City Council adopted a revised Tree Conservation and Landscape Ordinance Section 10-84 that requires that any application for rezoning must include a Preliminary Tree Management Plan. This plan shall show the existing location and general tree canopy and shall also specify which areas are proposed to be conserved and or replanted. There is no such document with this application.

For their example of the projected project a picture of the Wow Snow located at 23 East Broad Street was used. This is great for Wow Snow because it is in a commercial area and has the industrial look. However, they did not enclose pictures of how it looks when there is no one there. It looks like a shipping container that has been painted pink with a port a pot. I really don't think that has a pleasing look for our neighborhood after seeing trees of green. I have also enclosed pricing of what these containers cost and the is a subpar idea at best. My question is, if they had built in Summer Grove would they have submitted the same idea? To show the impact of one business, so that there is actually facts about drinking coffee and eating hamburgers, I picked a place we all use that is less than ½ mile away. Racetrack. Great place, stop for gas, get peanut butter yogurt, set on the patio area at lunch and eat pizza. (Except for the gas the concept of which they are presenting.) I have enclosed the sixteen pages of 911 calls of the incidents that have taken place over the last year of fights, homeless problems, suspicious subjects, assaults and psychiatric patient problems. There is truth to if you build it they will come! The other concern is for the future. If this is zoned commercial this could be sold anytime for anything.

Newnan has done a wonderful job of providing trails and parks and places for people to go. We all love the link! If the Southern Development LLC wants to donate the land in question to Newnan for a tax write off and Newnan be in charge, I am sure it would work well for us all however if not this needs to stay as intended which is residential and a house (which will sell) needs to be built.

Enclosing, please deny both of these request, re-zoning and shipping container as this is not a safe, compatible with our neighborhood nor a good comprehensive plan. Thank you.

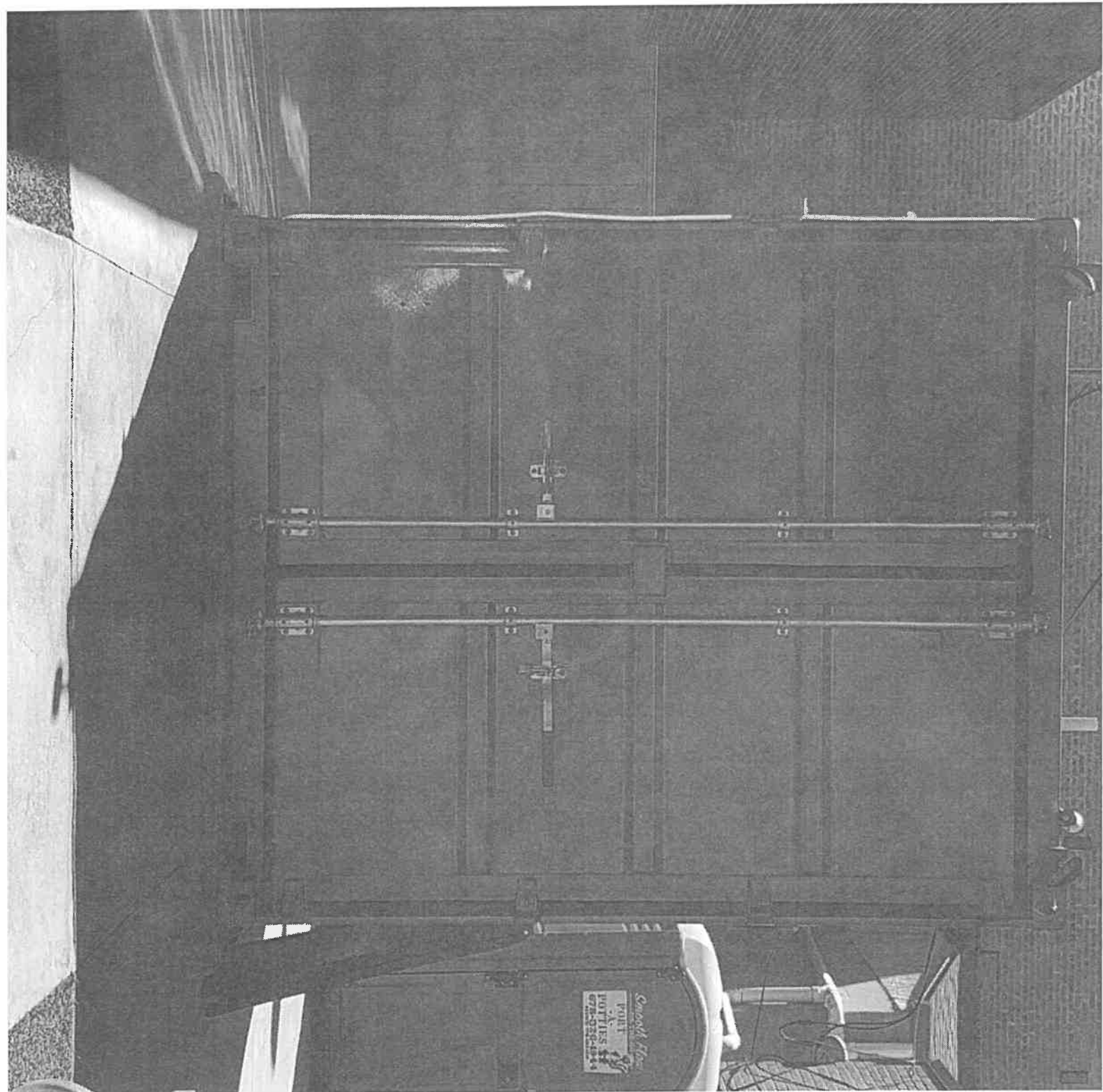
Annette Dalton

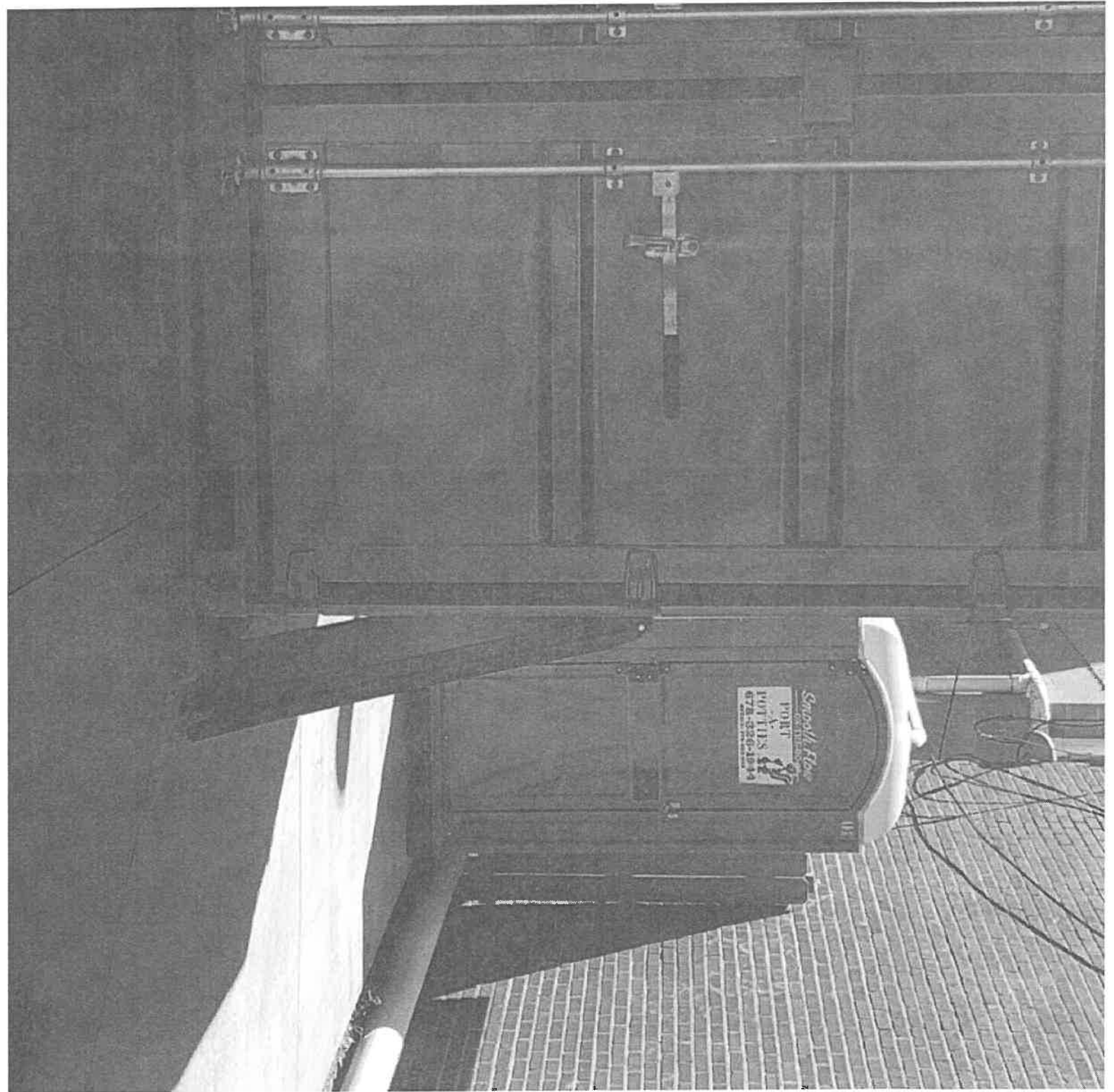


It was stated in the rezoning request that the growth of Bullsboro would not make this property desirable for single family residential use.

The lot in question even if it is a corner lot is wooded and is on a road that is not heavy with traffic. Pictured below on Poplar Road is a new subdivision with no trees and the back yards are facing a heavily traveled road. If a car ran off the road it would be in their house and these house have sold we no problem. The issue of not being able to sell a house is not valid.



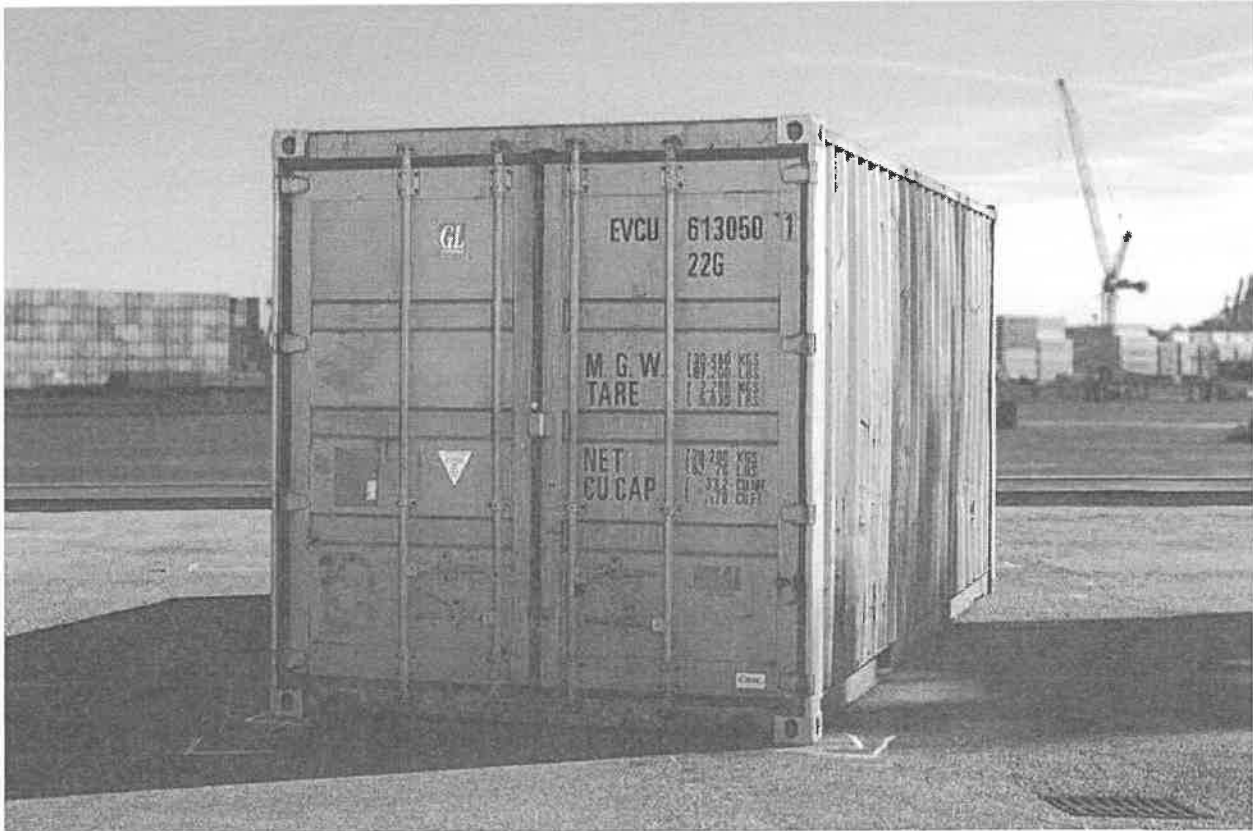








Cost of purchase of container:



## 20ft Used Container

~~\$2,649~~ \$2,599 from Atlanta, GA

Prices differ per location and are subject to change. Fill in your zip code to see your best price below. Prices excl. tax

  
NYK LOGISTICS  
MIGA CARRIER

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HC 87

2.6m 86

[www.nykline.com](http://www.nykline.com)

95779

***RaceTrac***®



# COWETA COUNTY

## CALLS FOR SERVICE AT RACETRAC

01/01/21-09/28/22

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
01/02/2021 04:23:46	2021000912		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/02/2021 14:00:44	2021001165		1 AMLAJACK BLVD	WELFARE CHECK	(S) COM HWY 34 I85 WEST	RACETRAC
01/02/2021 22:50:25	2021001459		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/05/2021 10:01:00	2021003243		1 AMLAJACK BLVD	LOG INFORMATION	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/07/2021 00:26:11	2021004618		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/08/2021 01:55:48	2021005467		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/08/2021 03:11:52	2021005515		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/08/2021 20:11:19	2021005998	2021010159	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
01/09/2021 23:57:34	2021006867	2101000324	1 AMLAJACK BLVD	STOLEN VEHICLE	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/09/2021 23:59:04	2021006870		1 AMLAJACK BLVD	STOLEN VEHICLE	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/10/2021 00:01:53	2021006872		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: 32.02 ft (S) C	RACETRAC
01/10/2021 03:24:58	2021006998		1 AMLAJACK BLVD	ASSIST OTHER AGENCY	(S) COM HWY 34 I85 WEST	RACETRAC
01/10/2021 03:25:26	2021007000		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/10/2021 11:18:28	2021007171		1 AMLAJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/10/2021 19:28:26	2021007418		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/11/2021 14:13:17	2021007978	2101000380	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/12/2021 00:16:10	2021008285		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
01/12/2021 00:58:01	2021008321		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/12/2021 19:25:23	2021008927		1 AMLAJACK BLVD	WELFARE CHECK	DIST: 100.25 ft (S)	RACETRAC
01/15/2021 01:41:37	2021010782		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
01/15/2021 22:57:42	2021011534		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
01/16/2021 14:18:44	2021012026		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
01/16/2021 21:07:01	2021012278		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/16/2021 23:31:11	2021012395	2101000595	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/18/2021 01:08:23	2021013169		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/18/2021 18:22:36	2021013729	2101000659	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
01/18/2021 19:49:40	2021013780		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
01/18/2021 19:51:18	2021013782		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
01/19/2021 10:09:48	2021014283		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	(N) RACETRAC
01/19/2021 14:22:51	2021014500	2101000683	1 AMLAJACK BLVD	CRIMINAL TRESPASS	DIST: 108.7 FT (S) C	RACETRAC

Report Generated: 09/28/2022 14:43:45 | User ID: ETEDDER

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Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
01/20/2021 00:20:47	2021014865	2100001150	1 AMLADJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 185 WEST (N RACETRAC	
01/20/2021 00:21:52	2021014870		1 AMLADJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 185 WEST (N RACETRAC	
01/20/2021 04:24:40	2021014991		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST RACETRAC	
01/21/2021 09:36:25	2021016030		1 AMLADJACK BLVD	CRIMINAL TRESPASS	(S) COM HWY 34 185 WEST (N RACETRAC	
01/21/2021 17:24:15	2021016290		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N RACETRAC	
01/22/2021 00:03:22	2021016535		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N RACETRAC	
01/22/2021 06:11:17	2021016702		1 AMLADJACK BLVD	TRAFFIC HAZARD	DIST: DIST: 326.76 FT (S) RACETRAC	
01/23/2021 00:46:42	2021017457		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST RACETRAC	
01/24/2021 01:55:31	2021018409		1 AMLADJACK BLVD	SUPPLEMENTAL	DIST: DIST: 136.25 FT (S) RACETRAC	
01/24/2021 03:47:40	2021018457		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N RACETRAC	
01/25/2021 03:56:51	2021019192		1 AMLADJACK BLVD	CRIMINAL TRESPASS	(S) COM HWY 34 185 WEST RACETRAC	
01/25/2021 04:32:30	2021019207		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: DIST: 205.1 ft (S)C RACETRAC	
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01/26/2021 06:47:31	2021020106		1 AMLADJACK BLVD	CRIMINAL TRESPASS	(S) COM HWY 34 185 WEST (N RACETRAC	
01/26/2021 08:25:38	2021020176		1 AMLADJACK BLVD	911 HANG UP CALL	DIST: DIST: 87.48 ft (S)C RACETRAC	
01/27/2021 05:41:46	2021020972		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N RACETRAC	
01/31/2021 02:56:45	2021024266	2101001172	1 AMLADJACK BLVD	ASSAULT	DIST: DIST: 87.37 ft (S)C RACETRAC	
01/31/2021 02:57:43	2021024268		1 AMLADJACK BLVD	ASSAULT	(S) COM HWY 34 185 WEST (N RACETRAC	
01/31/2021 23:55:01	2021024754		1 AMLADJACK BLVD	LOG INFORMATION	DIST: DIST: 87.37 ft (S)C RACETRAC	
02/01/2021 05:00:49	2021024893		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N RACETRAC	
02/02/2021 00:39:12	2021025575	2102000043	1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST RACETRAC	
02/02/2021 00:42:52	2021025579		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST RACETRAC	
02/04/2021 22:59:58	2021027979		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST RACETRAC	
02/05/2021 04:16:02	2021028152		1 AMLADJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N RACETRAC	
02/05/2021 18:58:39	2021028666	2102000209	1 AMLADJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 185 WEST (N RACETRAC	
02/05/2021 19:00:45	2021028668		1 AMLADJACK BLVD	TRAFFIC STOP	DIST: DIST: 138.03 ft (S) RACETRAC	
02/06/2021 03:21:39	2021028987		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N RACETRAC	
02/06/2021 23:18:00	2021029646	2102000249	1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST RACETRAC	
02/06/2021 23:28:41	2021029660		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N RACETRAC	
02/07/2021 03:15:54	2021029777		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: DIST: 13.37 ft (S)C RACETRAC	
02/07/2021 15:32:30	2021030117	2100002330	1 AMLADJACK BLVD	FALL WITH INJURY	(S) COM HWY 34 185 WEST (N RACETRAC	
02/08/2021 02:22:26	2021030464		1 AMLADJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 185 WEST RACETRAC	
02/08/2021 02:46:46	2021030473		1 AMLADJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N RACETRAC	
02/09/2021 07:45:15	2021031374		1 AMLADJACK BLVD	ESCORT	DIST: DIST: 36.58 ft (S)C RACETRAC	

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
02/09/2021 10:06:00	2021031429		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/10/2021 04:37:03	2021032044		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
02/10/2021 13:39:54	2021032440		1 AMLAJACK BLVD	ALARM RESD OR BUSN	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/10/2021 13:47:39	2021032447		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/10/2021 22:14:50	2021032789	2102000410	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
02/11/2021 23:33:53	2021033721	2102000443	1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
02/12/2021 03:59:22	2021033888		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
02/12/2021 15:42:53	2021034230	2102000474	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 94.92 ft (S) C	RACETRAC
02/12/2021 22:10:08	2021034469		1 AMLAJACK BLVD	DIST: 257.97 ft (S)		RACETRAC
02/13/2021 09:38:17	2021034685		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
02/13/2021 20:08:45	2021034982		1 AMLAJACK BLVD	ABANDONED VEHICLE	(S) COM HWY 34 I85 WEST	RACETRAC
02/17/2021 01:11:11	2021037462		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/18/2021 00:13:14	2021038289		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
02/18/2021 11:14:48	2021038595		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
02/18/2021 22:30:47	2021038983		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/20/2021 07:26:21	2021039821		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
02/20/2021 18:40:20	2021040112	2102000746	1 AMLAJACK BLVD	THRETT	DIST: 112.27 ft (S)	RACETRAC
02/21/2021 10:05:24	2021040544		1 AMLAJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/21/2021 11:29:53	2021040583		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
02/22/2021 20:05:20	2021041545		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
02/22/2021 22:37:12	2021041644		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/24/2021 01:32:21	2021042535	2102000867	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
02/24/2021 10:11:04	2021042767		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
02/25/2021 01:44:40	2021043413		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/26/2021 21:25:49	2021044938		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
02/27/2021 13:01:16	2021045382		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST	RACETRAC
03/01/2021 01:40:37	2021046537		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
03/02/2021 23:10:12	2021047992		1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S) COM HWY 34 I85 WEST (N RACETRAC	
03/03/2021 22:24:55	2021048880	2021030034	1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
03/03/2021 22:33:08	2021048889		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
03/03/2021 23:04:20	2021048906		1 AMLAJACK BLVD	FRAUD	DIST: 185.59 ft (S)	RACETRAC
03/04/2021 02:49:09	2021049040		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	
03/04/2021 03:19:13	2021049056		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
03/09/2021 11:20:26	2021053258	2103000346	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
03/09/2021 16:03:42	2021053478		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
03/10/2021 06:24:12	2021053915		1 AMLAJACK BLVD	ESCOORT	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/10/2021 06:40:36	2021053922		1 AMLAJACK BLVD	ESCOORT	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/12/2021 20:27:02	2021056349	2103000499	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/12/2021 23:13:56	2021056446	2103000501	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/13/2021 09:11:49	2021056688		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/14/2021 10:23:47	2021057360	2100004438	1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/14/2021 10:24:10	2021057362		1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/14/2021 10:24:32	2021057364	2100004439	1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/14/2021 10:25:31	2021057365		1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/14/2021 10:27:13	2021057366		1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/14/2021 22:24:56	2021057771	2100004474	1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	DIST: DIST: 74.93 ft (S) C RACETRAC	
03/14/2021 22:26:03	2021057773		1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	DIST: DIST: 74.93 ft (S) C RACETRAC	
03/15/2021 00:24:56	2021057834		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST RACETRAC	
03/15/2021 16:46:41	2021058259	2103000596	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/16/2021 13:10:26	2021058867	2103000624	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: DIST: 238.67 ft (S) RACETRAC	
03/16/2021 22:58:10	2021059180		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 I85 WEST RACETRAC	
03/18/2021 10:42:03	2021060241		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
03/18/2021 10:44:36	2021060243		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
03/19/2021 16:51:31	2021061198	2103000730	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: DIST: 221.04 FT (S) RACETRAC	
03/19/2021 16:52:20	2021061199		1 AMLAJACK BLVD	TRAFFIC STOP	DIST: DIST: 37.12 ft (S) C RACETRAC	
03/21/2021 08:32:21	2021062494		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
03/22/2021 04:46:34	2021063108		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST RACETRAC	
03/22/2021 04:46:57	2021063109		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST RACETRAC	
03/22/2021 13:43:52	2021063401		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/23/2021 06:54:48	2021063905		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/23/2021 07:27:45	2021063923		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/23/2021 17:54:44	2021064339		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/24/2021 02:45:23	2021064593		1 AMLAJACK BLVD	LOG INFORMATION	(S) COM HWY 34 I85 WEST RACETRAC	
03/24/2021 16:03:13	2021064988	2100005069	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/24/2021 16:05:11	2021064992		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/24/2021 16:13:51	2021065003		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: DIST: 219.66 ft (S) RACETRAC	
03/29/2021 16:50:13	2021090599		1 AMLAJACK BLVD	LOG INFORMATION	RACETRAC	
03/30/2021 15:01:31	2021094537		1 AMLAJACK BLVD	TRAFFIC STOP	RACETRAC	
03/30/2021 22:46:11	2021066794		1 AMLAJACK BLVD	IMPROPERLY PARKED VEHCL	(S) COM HWY 34 I85 WEST (N) RACETRAC	
03/31/2021 18:39:31	2021067594		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: DIST: 189.91 ft (S) RACETRAC	



Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
04/01/2021 06:35:00	2021067856		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
04/03/2021 13:05:06	2021069882	2104000110	1 AMLADJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/03/2021 13:06:55	2021069884		1 AMLADJACK BLVD		DIST: DIST: 106.05 ft (S)	RACETRAC
04/03/2021 14:13:45	2021069919	2104000111	1 AMLADJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/05/2021 23:21:22	2021071755		1 AMLADJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/06/2021 01:17:05	2021071825		1 AMLADJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 I85 WEST	RACETRAC
04/06/2021 03:18:56	2021071904		1 AMLADJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/07/2021 14:37:25	2021073058		1 AMLADJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST	RACETRAC
04/07/2021 17:42:19	2021073161	2100006654	1 AMLADJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/07/2021 17:43:02	2021073162		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/07/2021 22:52:09	2021073338		1 AMLADJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/08/2021 20:02:08	2021074176		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: DIST: 52.15 ft (S) (S) C RACETRAC	RACETRAC
04/10/2021 03:58:33	2021075358		1 AMLADJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/10/2021 04:15:28	2021075364		1 AMLADJACK BLVD	THEFT	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/10/2021 06:16:25	2021075415		1 AMLADJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST	RACETRAC
04/11/2021 01:09:34	2021075968		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
04/11/2021 18:28:01	2021076447		1 AMLADJACK BLVD	ESCORT	DIST: DIST: 133.37 ft (S)	RACETRAC
04/12/2021 03:12:18	2021076719		1 AMLADJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/14/2021 01:05:23	2021078348		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/15/2021 01:50:45	2021079220	2104000544	1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/15/2021 01:54:30	2021079224		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/16/2021 18:43:07	2021080810		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
04/17/2021 20:53:38	2021081761		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: DIST: 43.54 ft (S)	RACETRAC
04/17/2021 22:49:45	2021081870		1 AMLADJACK BLVD	FLAG DOWN	(S) COM HWY 34 I85 WEST	RACETRAC
04/18/2021 01:20:32	2021081968	2021040287	1 AMLADJACK BLVD	WARRANT SERVICES	(S) COM HWY 34 I85 WEST	RACETRAC
04/18/2021 15:48:25	2021082337		1 AMLADJACK BLVD	LOG INFORMATION	DIST: DIST: 38.38 FT (S)	RACETRAC
04/19/2021 06:27:08	2021082808	2100007347	1 AMLADJACK BLVD	BACK PAIN	DIST: DIST: 275.6 FT (S) (S) C RACETRAC	RACETRAC
04/19/2021 22:20:35	2021083340		1 AMLADJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 I85 WEST	RACETRAC
04/23/2021 19:19:38	2021086349		1 AMLADJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 I85 WEST	RACETRAC
04/24/2021 00:49:03	2021086548		1 AMLADJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/24/2021 02:45:04	2021086623		1 AMLADJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/24/2021 21:51:52	2021087266		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/24/2021 22:42:21	2021087299		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
04/24/2021 22:57:01	2021087305		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
04/25/2021 01:08:25	2021087402		1 AMLADJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
04/25/2021 05:14:06	2021087496		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
04/26/2021 04:18:48	2021088099		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
04/27/2021 18:06:45	2021089562		1 AMLAJACK BLVD	ESCORT	DIST: DIST: 204.7 Ft (S) C RACETRAC	
04/28/2021 09:47:28	2021090111		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST RACETRAC	
04/28/2021 23:06:04	2021090726		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
04/29/2021 03:03:51	2021090817		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
04/30/2021 03:31:03	2021091689		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
04/30/2021 16:16:39	2021092102		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 185 WEST (N) RACETRAC	
04/30/2021 22:55:28	2021092526		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/02/2021 03:12:45	2021093502		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/02/2021 04:09:37	2021093523	210500048	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/02/2021 04:13:33	2021093525		1 AMLAJACK BLVD	HIT AND RUN	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/03/2021 00:27:28	2021094139		1 AMLAJACK BLVD	SUPPLEMENTAL	NOW OWNED BY QUICK TRIP ( RACETRAC	
05/03/2021 20:25:42	2021094844		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/04/2021 03:20:31	2021095048		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/04/2021 11:36:36	2021095265		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/04/2021 22:59:44	2021095690		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/05/2021 01:01:42	2021095787		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/05/2021 02:51:12	2021095850		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/07/2021 07:37:19	2021097641		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/07/2021 12:56:28	2021097812		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/08/2021 16:20:37	2021098782		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/08/2021 21:20:32	2021098991		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/11/2021 09:54:05	2021100951		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST RACETRAC	
05/11/2021 09:58:12	2021100955		1 AMLAJACK BLVD	DIST: DIST: 283.66 ft (S) RACETRAC		
05/12/2021 06:29:56	2021101687	2105000410	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/12/2021 06:31:57	2021101689		1 AMLAJACK BLVD	DIST: DIST: 159.17 ft (S) RACETRAC		
05/13/2021 00:34:59	2021102269		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/14/2021 00:18:01	2021103044	2105000483	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/14/2021 22:17:47	2021103870	2105000522	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST RACETRAC	
05/15/2021 00:36:14	2021103996	2105000531	1 AMLAJACK BLVD	DUI	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/15/2021 00:38:14	2021103999		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/15/2021 00:41:36	2021104001		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/15/2021 01:30:27	2021104041	2105000534	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST RACETRAC	
05/17/2021 09:55:16	2021105879		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST RACETRAC	

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
05/17/2021 20:20:53	2021106322		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 I85 WEST	RACETRAC
05/17/2021 23:22:34	2021106390		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/18/2021 00:34:27	2021106425		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/18/2021 03:20:38	2021106501		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/18/2021 13:21:19	2021106747		1 AMLAJACK BLVD	THEFT	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/18/2021 17:21:35	2021106917		1 AMLAJACK BLVD		(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/18/2021 21:27:25	2021107084	2105000651	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/18/2021 23:31:32	2021107163		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
05/18/2021 23:38:11	2021107166	2105000664	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
05/18/2021 23:39:55	2021107170		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
05/18/2021 23:48:32	2021107175	2105000665	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
05/18/2021 23:49:32	2021107176		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
05/19/2021 02:17:33	2021107247		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/20/2021 17:40:12	2021108601	2100009228	1 AMLAJACK BLVD	FUEL SPILL	DIST: DIST: 142.53 Ft (S)	RACETRAC
05/21/2021 01:31:20	2021108919		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/21/2021 01:32:00	2021108920		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
05/21/2021 12:26:51	2021109265		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
05/22/2021 01:16:58	2021109783	2021050410	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
05/22/2021 22:06:07	2021110457		1 AMLAJACK BLVD	911 HANG UP CALL	DIST: DIST: 99.14 Ft (S)	C RACETRAC
05/23/2021 01:44:23	2021110602		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
05/23/2021 01:51:06	2021110609		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
05/23/2021 03:52:46	2021110684		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/24/2021 00:08:10	2021111186		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/24/2021 01:55:20	2021111229		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/24/2021 10:58:56	2021111498		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/24/2021 11:07:11	2021111509		1 AMLAJACK BLVD	SUBJECT ARMED	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/26/2021 18:27:56	2021113570		1 AMLAJACK BLVD	911 HANG UP CALL	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/26/2021 21:01:04	2021113743		1 AMLAJACK BLVD	MISSING PERSON	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/26/2021 21:09:49	2021113747	2105001024	1 AMLAJACK BLVD	MISSING PERSON	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/27/2021 19:48:36	2021114613	2100009716	1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/27/2021 19:48:54	2021114615	2105001054	1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/28/2021 04:54:18	2021114889	2021050539	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	(N) RACETRAC
05/28/2021 09:53:22	2021115010	2105001071	1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: DIST: 90.73 FT (S)	RACETRAC
05/28/2021 10:10:17	2021115020	2021050543	1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: DIST: 90.73 FT (S)	RACETRAC
05/28/2021 10:24:20	2021115030	2100009745	1 AMLAJACK BLVD	ASSAULT WITH INJ	DIST: DIST: 90.73 FT (S)	RACETRAC

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
05/28/2021 10:58:04	2021115052		1 AMLAJACK BLVD	911 HANG UP CALL	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/28/2021 10:59:20	2021115055		1 AMLAJACK BLVD	CHILD CUSTODY CASE	DIST: 86.83 ft (S) C RACETRAC	
05/28/2021 14:43:30	2021115214	2105001081	1 AMLAJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/28/2021 18:32:27	2021115372		1 AMLAJACK BLVD	ANIMAL COMPLAINT	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/28/2021 19:15:28	2021115407		1 AMLAJACK BLVD	ANIMAL COMPLAINT	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/28/2021 19:32:02	2021115414		1 AMLAJACK BLVD	ANIMAL COMPLAINT	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/28/2021 21:35:07	2021115582		1 AMLAJACK BLVD	LOG INFORMATION	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/30/2021 23:13:53	2021117396		1 AMLAJACK BLVD	WELFARE CHECK	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/30/2021 23:41:36	2021117411		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
05/31/2021 22:02:55	2021118162	2105001214	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 66.83 ft (S) C RACETRAC	
05/31/2021 22:37:43	2021118177		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 66.83 ft (S) C RACETRAC	
06/02/2021 10:20:33	2021119210	2106000049	1 AMLAJACK BLVD	LOST OR MISLAID PROPERTY	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/04/2021 16:37:52	2021121355		1 AMLAJACK BLVD	ALARM RESP OR BUSN	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/04/2021 22:38:33	2021121569		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/06/2021 03:47:14	2021122429		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/07/2021 00:08:18	2021122921	2100010378	1 AMLAJACK BLVD	CHEST PAIN	DIST: 100 ft (S) COM RACETRAC	
06/07/2021 00:38:40	2021122929		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/08/2021 04:02:33	2021123987		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/08/2021 04:07:29	2021123989		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/08/2021 21:54:04	2021124765		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/09/2021 15:14:40	2021125360		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/09/2021 16:59:17	2021125428		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/12/2021 23:41:13	2021128180	2106000463	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/14/2021 23:06:25	2021129931		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/15/2021 01:36:55	2021130020		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/15/2021 02:28:10	2021130065	2106000555	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/17/2021 10:56:40	2021132238	2021060299	1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/17/2021 20:07:54	2021132664		1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/17/2021 23:56:06	2021132798	2106000710	1 AMLAJACK BLVD	DRUG CASE	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/18/2021 11:18:03	2021133141	2106000721	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 107.44 ft (S) RACETRAC	
06/18/2021 12:55:55	2021133214		1 AMLAJACK BLVD	THEFT	DIST: 123.36 ft (S) RACETRAC	
06/21/2021 03:01:55	2021135298		1 AMLAJACK BLVD	ESCORT	DIST: 608.44 FT (S) RACETRAC	
06/21/2021 23:53:34	2021136070		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/22/2021 08:56:44	2021136333		1 AMLAJACK BLVD	ALARM RESP OR BUSN	(S) COM HWY 34 185 WEST (N) RACETRAC	
06/22/2021 09:00:34	2021136335		1 AMLAJACK BLVD	ALARM RESP OR BUSN	(S) COM HWY 34 185 WEST (N) RACETRAC	

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
06/23/2021 04:06:28	2021137100	2106000899	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
06/23/2021 14:31:53	2021137439		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACFT	(S) COM HWY 34 185 WEST (N) RACETRAC	RACETRAC
06/24/2021 08:23:37	2021137954		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 185 WEST (N) RACETRAC	RACETRAC
06/24/2021 20:38:51	2021138429	2100011577	1 AMLAJACK BLVD	CONVULSIONS SEIZURES	DIST: DIST: 90.67 ft (S) C RACETRAC	RACETRAC
06/26/2021 19:36:55	2021140049	2106001058	1 AMLAJACK BLVD	CRIMINAL TRESPASS	(S) COM HWY 34 185 WEST	RACETRAC
06/26/2021 21:07:19	2021140127		1 AMLAJACK BLVD	ASSIST A MOTORIST	DIST: DIST: 74.77 ft (S) C RACETRAC	RACETRAC
06/26/2021 21:09:44	2021140129		1 AMLAJACK BLVD	ASSIST A MOTORIST	DIST: DIST: 74.77 ft (S) C RACETRAC	RACETRAC
06/27/2021 00:16:00	2021140245	2100011710	1 AMLAJACK BLVD	BREATHHING PROBLEMS	(S) COM HWY 34 185 WEST (N) RACETRAC	RACETRAC
06/27/2021 00:18:57	2021140247		1 AMLAJACK BLVD	ASSIST OTHER AGENCY	(S) COM HWY 34 185 WEST (N) RACETRAC	RACETRAC
06/27/2021 00:21:31	2021140249		1 AMLAJACK BLVD	ENTERING AUTO	DIST: DIST: 89.52 ft (S) C RACETRAC	RACETRAC
06/28/2021 12:10:45	2021141267		1 AMLAJACK BLVD	ENTERING AUTO	(S) COM HWY 34 185 WEST (N) RACETRAC	RACETRAC
06/28/2021 12:26:09	2021141281	2106001119	1 AMLAJACK BLVD	ENTERING AUTO	(S) COM HWY 34 185 WEST (N) RACETRAC	RACETRAC
06/29/2021 12:40:36	2021142102		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	RACETRAC
06/29/2021 13:34:03	2021142145		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	RACETRAC
06/30/2021 04:25:19	2021142665		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
07/02/2021 08:40:35	2021144382	2107000064	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
07/02/2021 11:24:01	2021144465	2107000073	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: DIST: 53.5 FT (S) CO RACETRAC	RACETRAC
07/03/2021 17:05:08	2021145387		1 AMLAJACK BLVD	911 HANG UP CALL	DIST: DIST: 154.15 FT (S) RACETRAC	RACETRAC
07/03/2021 22:05:20	2021145567		1 AMLAJACK BLVD	HARRASSMENT	(S) COM HWY 34 185 WEST (N) RACETRAC	RACETRAC
07/04/2021 16:22:34	2021146059		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 185 WEST	RACETRAC
07/05/2021 16:51:36	2021146789	2107000207	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: DIST: 178.61 FT (S) RACETRAC	RACETRAC
07/06/2021 07:32:29	2021147288		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	RACETRAC
07/07/2021 16:00:31	2021148486		1 AMLAJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 185 WEST (N) RACETRAC	RACETRAC
07/07/2021 20:24:52	2021148642		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
07/08/2021 17:45:02	2021149343		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
07/08/2021 20:14:09	2021149456		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
07/08/2021 20:21:08	2021149463		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
07/08/2021 21:47:40	2021149511		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
07/09/2021 01:25:57	2021149627		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
07/09/2021 22:21:29	2021150233	2107000388	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
07/10/2021 05:55:43	2021150428		1 AMLAJACK BLVD	TRAFFIC COMPLAINT	AR (S) COM HWY 34 185 WEST RACETRAC	RACETRAC
07/10/2021 21:37:42	2021150906		1 AMLAJACK BLVD	HIT AND RUN	DIST: DIST: 151.08 ft (S) RACETRAC	RACETRAC
07/11/2021 10:45:26	2021151320	2021070177	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
07/12/2021 18:23:49	2021152333		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACFT	DIST: DIST: 172.83 ft (S) RACETRAC	RACETRAC
07/14/2021 02:43:29	2021153381		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
07/14/2021 09:39:10	2021153562		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	RACETRAC
07/15/2021 15:30:09	2021154578		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 90.65 ft (S)C	RACETRAC
07/15/2021 17:49:16	2021154667	2107000613	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 182.6 FT (S)	RACETRAC
07/15/2021 18:23:31	2021154684		1 AMLAJACK BLVD	SUPPLEMENTAL	DIST: 47.17 ft (S)C	RACETRAC
07/16/2021 08:33:02	2021155138		1 AMLAJACK BLVD	ASSIST A MOTORIST	DIST: 87.18 ft (S)C	RACETRAC
07/16/2021 15:12:47	2021155362		1 AMLAJACK BLVD	PUMP 10		RACETRAC
07/18/2021 11:51:39	2021156707		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST (N)	RACETRAC
07/18/2021 18:21:26	2021156874	2107000724	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 138.78 ft (S)	RACETRAC
07/18/2021 18:22:21	2021156875		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST (N)	RACETRAC
07/20/2021 07:02:04	2021157895	2107000776	1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	RACETRAC
07/20/2021 16:09:14	2021158183	2107000790	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 265.01 FT (S)	RACETRAC
07/21/2021 20:48:59	2021159193		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 104.68 ft (S)	RACETRAC
07/21/2021 23:51:25	2021159280		1 AMLAJACK BLVD	911 HANG UP CALL	DIST: 39.62 ft (S)C	RACETRAC
07/22/2021 12:10:36	2021159699	2100013325	1 AMLAJACK BLVD	SUICIDE ATTEMPT	(S)COM HWY 34 I85 WEST (N)	RACETRAC
07/22/2021 12:12:32	2021159706		1 AMLAJACK BLVD	SUICIDE ATTEMPT	(S)COM HWY 34 I85 WEST (N)	RACETRAC
07/23/2021 02:30:38	2021160238		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	RACETRAC
07/23/2021 15:19:12	2021160594		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S)COM HWY 34 I85 WEST	RACETRAC
07/24/2021 13:58:09	2021161287		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S)COM HWY 34 I85 WEST (N)	RACETRAC
07/25/2021 02:08:35	2021161731	2107000983	1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	RACETRAC
07/26/2021 07:56:20	2021162510		1 AMLAJACK BLVD	ASSIST A MOTORIST	DIST: 129.05 ft (S)	RACETRAC
07/27/2021 07:14:36	2021163353		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S)COM HWY 34 I85 WEST (N)	RACETRAC
07/27/2021 17:03:11	2021163738		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST (N)	RACETRAC
07/29/2021 01:26:25	2021164866		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	RACETRAC
07/31/2021 13:47:59	2021166831		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST (N)	RACETRAC
07/31/2021 14:53:14	2021166877		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST (N)	RACETRAC
08/02/2021 19:13:37	2021168626		1 AMLAJACK BLVD	UNKNOWN TROUBLE	DIST: 63.77 ft (S)C	RACETRAC
08/04/2021 12:08:52	2021170075		1 AMLAJACK BLVD	THEFT	(S)COM HWY 34 I85 WEST (N)	RACETRAC
08/07/2021 12:36:07	2021172577		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 138.97 FT (S)	RACETRAC
08/07/2021 23:32:37	2021173020		1 AMLAJACK BLVD	AREA LOG	(S)COM HWY 34 I85 WEST (N)	RACETRAC
08/07/2021 23:43:40	2021173028		1 AMLAJACK BLVD	911 HANG UP CALL	DIST: 79.77 ft (S)C	RACETRAC
08/07/2021 23:44:11	2021173029		1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S)COM HWY 34 I85 WEST (N)	RACETRAC
08/07/2021 23:46:01	2021173030		1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S)COM HWY 34 I85 WEST (N)	RACETRAC
08/11/2021 01:35:36	2021175412		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S)COM HWY 34 I85 WEST (N)	RACETRAC
08/11/2021 18:13:44	2021176049		1 AMLAJACK BLVD	WELFARE CHECK	DIST: 172.51 ft (S)	RACETRAC
08/12/2021 10:44:54	2021176643		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S)COM HWY 34 I85 WEST (N)	RACETRAC

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
08/12/2021 19:41:21	2021177043		1 AMLADJACK BLVD	ESCOPT	(S) COM HWY 34 I85 WEST	RACETRAC
08/18/2021 23:26:15	2021182136		1 AMLADJACK BLVD	FLAG DOWN	(S) COM HWY 34 I85 WEST	RACETRAC
08/19/2021 13:00:17	2021182600		1 AMLADJACK BLVD	TRAFFIC COMPLAINT	DIST: DIST: 91.22 ft (S) C	RACETRAC
08/20/2021 11:28:23	2021183352		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
08/22/2021 01:59:42	2021184824	2108000803	1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
08/22/2021 17:19:50	2021185178	2108000824	1 AMLADJACK BLVD	CHILD CUSTODY CASE	DIST: DIST: 193.92 ft (S)	RACETRAC
08/22/2021 17:36:10	2021185188		1 AMLADJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST	(N) RACETRAC
08/22/2021 17:36:42	2021185191		1 AMLADJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST	(N) RACETRAC
08/26/2021 04:48:33	2021188332	2108000950	1 AMLADJACK BLVD	CRIMINAL DAMAGE TO PROPE	(S) COM HWY 34 I85 WEST	RACETRAC
08/27/2021 13:52:11	2021189495		1 AMLADJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 I85 WEST	RACETRAC
08/27/2021 15:44:04	2021189562	2100015966	1 AMLADJACK BLVD	SUICIDE ATTEMPT	(S) COM HWY 34 I85 WEST	(N) RACETRAC
08/27/2021 15:44:47	2021189564		1 AMLADJACK BLVD	SUICIDE ATTEMPT	(S) COM HWY 34 I85 WEST	(N) RACETRAC
08/27/2021 23:51:53	2021189888		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	(N) RACETRAC
08/28/2021 03:25:39	2021190034		1 AMLADJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST	(N) RACETRAC
08/28/2021 12:59:05	2021190344		1 AMLADJACK BLVD	HRPASSING PHONE CALLS	(S) COM HWY 34 I85 WEST	(N) RACETRAC
08/28/2021 14:45:38	2021190402		1 AMLADJACK BLVD	THREATS	(S) COM HWY 34 I85 WEST	(N) RACETRAC
08/29/2021 01:59:41	2021190803		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
08/30/2021 22:59:48	2021192228		1 AMLADJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST	(N) RACETRAC
08/30/2021 23:04:10	2021192230		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
09/01/2021 05:44:45	2021193243		1 AMLADJACK BLVD	WELFARE CHECK	(S) COM HWY 34 I85 WEST	(N) RACETRAC
09/01/2021 13:41:19	2021193540	2100016304	1 AMLADJACK BLVD	UNCONSCIOUS PAINTING	DIST: DIST: 52.06 ft (S) C	RACETRAC
09/01/2021 13:42:13	2021193541		1 AMLADJACK BLVD	ASSIST OTHER AGENCY	DIST: DIST: 52.06 ft (S) C	RACETRAC
09/01/2021 13:42:36	2021193542		1 AMLADJACK BLVD	TRAFFIC STOP	DIST: DIST: 43.34 ft (S) C	RACETRAC
09/01/2021 20:56:51	2021193860		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
09/02/2021 11:42:49	2021194357	2021090030	1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
09/02/2021 15:18:03	2021194476		1 AMLADJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
09/04/2021 14:31:39	2021195958	2100016519	1 AMLADJACK BLVD	CHEST PAIN	DIST: DIST: 193.06 ft (S)	RACETRAC
09/04/2021 17:29:20	2021196049		1 AMLADJACK BLVD	HIT AND RUN	(S) COM HWY 34 I85 WEST	(N) RACETRAC
09/06/2021 03:37:37	2021196980		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	RACETRAC
09/06/2021 11:58:33	2021197183		1 AMLADJACK BLVD	ESCOPT	DIST: DIST: 70.94 ft (S) C	RACETRAC
09/06/2021 16:38:50	2021197324		1 AMLADJACK BLVD	ASSIST OTHER AGENCY	(S) COM HWY 34 I85 WEST	RACETRAC
09/06/2021 18:44:26	2021197388		1 AMLADJACK BLVD	CRIMINAL TRESPASS	(S) COM HWY 34 I85 WEST	(N) RACETRAC
09/10/2021 01:00:48	2021200161		1 AMLADJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST	(N) RACETRAC
09/11/2021 14:36:22	2021201551		1 AMLADJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 I85 WEST	(N) RACETRAC
09/11/2021 15:04:16	2021201566		1 AMLADJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 I85 WEST	(N) RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
09/11/2021 21:08:16	2021201762		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: 11.76 FT (S) C	RACETRAC
09/11/2021 21:16:06	2021201768		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: 11.76 FT (S) C	RACETRAC
09/11/2021 21:25:54	2021201783		1 AMLAJACK BLVD	SUPPLEMENTAL	DIST: 31.98 FT (S) C	RACETRAC
09/11/2021 21:40:35	2021201796		1 AMLAJACK BLVD	SUPPLEMENTAL	DIST: 35.29 FT (S) C	RACETRAC
09/12/2021 03:43:32	2021201985		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/12/2021 13:24:29	2021202242		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/14/2021 16:23:05	2021203862		1 AMLAJACK BLVD	LOST OR MISLAID PROPERTY	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/15/2021 01:52:18	2021204175		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/16/2021 21:35:36	2021205638		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: 146.09 ft (S) RACETRAC	
09/18/2021 00:19:36	2021206553		1 AMLAJACK BLVD	TRAFFIC COMPLAINT	DIST: 208.36 FT (S) RACETRAC	
09/18/2021 06:08:13	2021206693		1 AMLAJACK BLVD	LOG INFORMATION	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/20/2021 11:04:11	2021208133		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/21/2021 21:40:28	2021209384		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 78.14 ft (S) C RACETRAC	
09/22/2021 01:55:52	2021209516		1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/22/2021 18:25:50	2021210053	2100017731	1 AMLAJACK BLVD	BREATHING PROBLEMS	DIST: 128.3 FT (S) C RACETRAC	
09/23/2021 17:19:14	2021210809		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/24/2021 08:51:23	2021211276		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/24/2021 11:33:35	2021211357		1 AMLAJACK BLVD	NOISE DISTURBANCE	PDMP 12 RACETRAC	
09/24/2021 12:32:13	2021211392		1 AMLAJACK BLVD	911 HANG UP CALL	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/24/2021 18:15:05	2021211629	2109000932	1 AMLAJACK BLVD	ESCORT	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/25/2021 00:07:52	2021211926		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/25/2021 06:57:50	2021212138		1 AMLAJACK BLVD	CRIMINAL TRESPASS	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/27/2021 15:10:58	2021213979	2100018062	1 AMLAJACK BLVD	CONVULSIONS SEIZURES	DIST: 99.51 ft (S) C RACETRAC	
09/29/2021 03:59:51	2021215118		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/29/2021 23:27:21	2021215747		1 AMLAJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/30/2021 16:55:46	2021216328		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/30/2021 21:51:26	2021216524		1 AMLAJACK BLVD	LOG INFORMATION	DIST: 37.04 ft (S) C RACETRAC	
09/30/2021 22:13:11	2021216535		1 AMLAJACK BLVD	STALKING	(S) COM HWY 34 185 WEST (N) RACETRAC	
09/30/2021 22:20:01	2021216538		1 AMLAJACK BLVD	STALKING	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/01/2021 11:05:24	2021216903		1 AMLAJACK BLVD	911 HANG UP CALL	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/02/2021 15:38:47	2021217880		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/04/2021 12:46:38	2021219260		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/06/2021 23:59:36	2021221294		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/06/2021 23:59:52	2021221295		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/07/2021 00:06:23	2021221300		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N) RACETRAC	

CALLS FOR SERVICE AT RACETRAC



Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
10/08/2021 01:19:50	2021222186		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/08/2021 02:06:43	2021222218		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 185 WEST	RACETRAC
10/08/2021 02:47:15	2021222245		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
10/08/2021 03:07:35	2021222255		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/08/2021 03:20:49	2021222258		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
10/11/2021 20:47:01	2021225153		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/11/2021 23:26:42	2021225247		1 AMLAJACK BLVD	RADAR CALIBRATION	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/12/2021 21:50:24	2021226086		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 185 WEST	RACETRAC
10/13/2021 00:02:45	2021226155	2100019016	1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	DIST: 4.16 FT (S) COM HWY	RACETRAC
10/13/2021 00:04:19	2021226156		1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	AREA RACETRAC	
10/13/2021 06:18:50	2021226355		1 AMLAJACK BLVD	ASSIST A MOTORIST	DIST: DIST: 32.67 ft (S) C	RACETRAC
10/13/2021 12:17:35	2021226569		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/13/2021 12:31:08	2021226576		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: DIST: 313.75 ft (S)	RACETRAC
10/14/2021 10:08:03	2021227311		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/14/2021 18:52:26	2021227649		1 AMLAJACK BLVD	CRIMINAL DAMAGE TO PROPE	DIST: DIST: 534.49 FT (S)	RACETRAC
10/14/2021 18:59:33	2021227659		1 AMLAJACK BLVD	CRIMINAL DAMAGE TO PROPE	DIST: DIST: 534.49 FT (S)	RACETRAC
10/18/2021 12:58:11	2021230380		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/22/2021 17:15:51	2021232393		1 AMLAJACK BLVD	DISPUTE NON FAMILY	DIST: DIST: 93.56 ft (S) C	RACETRAC
10/22/2021 15:12:17	2021233655		1 AMLAJACK BLVD	911 HANG UP CALL	DIST: DIST: 142.53 ft (S)	RACETRAC
10/23/2021 20:57:23	2021234486		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
10/23/2021 23:48:34	2021234591		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
10/24/2021 10:29:14	2021234839		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/24/2021 23:15:26	2021235251		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/26/2021 14:56:14	2021236463	2110001028	1 AMLAJACK BLVD	ASSAULT		RACETRAC
10/27/2021 13:30:34	2021237263		1 AMLAJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 185 WEST	RACETRAC
10/27/2021 19:30:24	2021237483		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/28/2021 16:36:58	2021238071		1 AMLAJACK BLVD	ESCORT	(S) COM HWY 34 185 WEST (N) RACETRAC	
10/30/2021 09:14:51	2021239230		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
10/30/2021 12:53:19	2021239325		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
10/30/2021 12:56:51	2021239328		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
11/01/2021 10:20:29	2021240513		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
11/01/2021 19:38:07	2021240778		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
11/01/2021 20:39:27	2021240815		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
11/03/2021 21:45:01	2021242335		1 AMLAJACK BLVD	DISPUTE FAMILY	DIST: DIST: 140.15 ft (S)	RACETRAC
11/03/2021 22:29:07	2021242354		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
11/05/2021 13:05:36	202124390		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/05/2021 21:18:18	2021243764		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
11/05/2021 22:20:56	2021243806		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
11/06/2021 03:29:12	2021243965		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
11/06/2021 06:43:11	2021244021	2111000196	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/07/2021 21:32:28	2021245134	2111000241	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/08/2021 00:34:37	2021245204		1 AMLAJACK BLVD	SUBJECT ARMED	DIST: DIST: 86.83 ft (S)C RACETRAC	RACETRAC
11/09/2021 21:36:44	2021246560	2111000302	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
11/10/2021 08:28:10	2021246843		1 AMLAJACK BLVD	LOG INFORMATION	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/10/2021 22:38:10	2021247274		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
11/11/2021 21:28:06	2021248067		1 AMLAJACK BLVD	WELFARE CHECK	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/11/2021 22:08:12	2021248093	2021110194	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/13/2021 21:10:00	2021249362		1 AMLAJACK BLVD	WELFARE CHECK	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/18/2021 01:38:28	2021252538	2111000582	1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/18/2021 01:41:38	2021252540		1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/18/2021 01:43:21	2021252541		1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/18/2021 08:03:28	2021252681		1 AMLAJACK BLVD	ACCIDENT WITH INJURY	DIST: DIST: 135.2 FT (S)C RACETRAC	RACETRAC
11/18/2021 08:08:34	2021252686		1 AMLAJACK BLVD	FIRE TEST	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/19/2021 04:52:49	2021253338	2021110303	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
11/20/2021 00:11:33	2021254143		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/20/2021 00:24:11	2021254148		1 AMLAJACK BLVD	ASSIST OTHER AGENCY	(S) COM HWY 34 I85 WEST	RACETRAC
11/21/2021 15:26:18	2021255315		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
11/22/2021 13:23:25	2021256029		1 AMLAJACK BLVD	ASSIST A MOTORIST	DIST: DIST: 62.02 ft (S)C RACETRAC	RACETRAC
11/25/2021 00:01:31	2021257979		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/26/2021 11:34:56	2021258905		1 AMLAJACK BLVD	ACCIDENT WITH INJURY	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
11/29/2021 05:42:03	2021260767	2100021878	1 AMLAJACK BLVD	ACCIDENT WITH INJURY	DIST: DIST: 176.33 ft (S) RACETRAC	RACETRAC
11/29/2021 05:42:56	2021260768	2111000983	1 AMLAJACK BLVD	ACCIDENT WITH INJURY	DIST: DIST: 176.33 ft (S) RACETRAC	RACETRAC
11/29/2021 18:18:31	2021261220		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
11/29/2021 22:16:15	2021261412		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
11/29/2021 22:33:35	2021261420		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
11/30/2021 18:13:37	2021262027		1 AMLAJACK BLVD	TRAFFIC COMPLAINT	DIST: 31.4 FT (S) COM HWY RACETRAC	RACETRAC
12/01/2021 02:10:03	2021262407		1 AMLAJACK BLVD	TRAFFIC COMPLAINT	(S) COM HWY 34 I85 WEST (N RACETRAC	RACETRAC
12/02/2021 00:12:52	2021263081		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
12/06/2021 22:04:29	2021266816	2112000228	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC
12/07/2021 11:24:25	2021267154	2112000242	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST	RACETRAC

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
12/08/2021 01:32:06	2021267673		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
12/09/2021 10:51:29	2021266806		1 AMLAJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 185 WEST	RACETRAC
12/10/2021 00:00:44	2021269349	2112000349	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
12/10/2021 10:15:26	2021269641		1 AMLAJACK BLVD	ESCORT	ES (S) COM HWY 34 185 WEST	RACETRAC
12/13/2021 17:15:39	2021272031	2100022784	1 AMLAJACK BLVD	SICK PERSON	(S) COM HWY 34 185 WEST (N) RACETRAC	
12/14/2021 23:35:32	2021273159		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
12/15/2021 23:11:40	2021273903		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST	RACETRAC
12/17/2021 14:22:55	2021275235		1 AMLAJACK BLVD	ESCORT	(S) COM HWY 34 185 WEST (N) RACETRAC	
12/19/2021 02:01:42	2021276526		1 AMLAJACK BLVD	911 HANG UP CALL	DISTR: DISTR: 105.13 ft. (S) RACETRAC	
12/19/2021 10:55:23	2021276744		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DISTR: DISTR: 81.96 ft (S) C RACETRAC	
12/19/2021 14:12:27	2021276857		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DISTR: DISTR: 81.96 ft (S) C RACETRAC	
12/19/2021 14:17:38	2021276862		1 AMLAJACK BLVD	TRAFFIC STOP	SUTLE B (S) COM HWY 34 185 RACETRAC	
12/19/2021 16:57:54	2021276947		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
12/19/2021 23:43:27	2021277194		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
12/20/2021 02:16:37	2021277311		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST	RACETRAC
12/20/2021 15:20:42	2021277714		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
12/23/2021 00:28:36	2021279395		1 AMLAJACK BLVD	ASSIST OTHER AGENCY	(S) COM HWY 34 185 WEST (N) RACETRAC	
12/23/2021 04:44:05	2021279534		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
12/23/2021 04:44:22	2021279535		1 AMLAJACK BLVD	TRAFFIC COMPLAINT	DISTR: DISTR: 294.81 FT (S) RACETRAC	
12/23/2021 11:54:36	2021279764		1 AMLAJACK BLVD	TRAFFIC COMPLAINT	DISTR: DISTR: 294.81 FT (S) RACETRAC	
12/23/2021 11:56:27	2021279767		1 AMLAJACK BLVD	ASSIST A MOTORIST	DISTR: DISTR: 75.26 ft (S) C RACETRAC	
12/24/2021 04:17:30	2021280306		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
12/24/2021 23:29:42	2021280807		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N) RACETRAC	
12/27/2021 23:30:06	2021282613		1 AMLAJACK BLVD	TRAFFIC COMPLAINT	(S) COM HWY 34 185 WEST (N) RACETRAC	
12/28/2021 12:02:46	2021283026	2112000946	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST (N) RACETRAC	
12/29/2021 01:11:01	2021283462		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 185 WEST (N) RACETRAC	
01/03/2022 09:46:41	2022001730		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 185 WEST (N) RACETRAC	
01/05/2022 04:02:16	2022003006		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
01/05/2022 07:10:36	2022003071	2201000109	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DISTR: DISTR: 71.67 ft (S) C RACETRAC	
01/05/2022 22:05:11	2022003620	2201000138	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 185 WEST	RACETRAC
01/06/2022 20:40:47	2022004397		1 AMLAJACK BLVD	DISPUTE NON FAMILY	DISTR: DISTR: 238.35 FT (S) RACETRAC	
01/08/2022 14:35:27	2022005648	2201000226	1 AMLAJACK BLVD	DISPUTE NON FAMILY	(S) COM HWY 34 185 WEST (N) RACETRAC	
01/08/2022 14:38:29	2022005651		1 AMLAJACK BLVD	SICK PERSON	DISTR: DISTR: 138.81 ft (S) RACETRAC	
01/08/2022 20:53:43	2022005832	2200000635	1 AMLAJACK BLVD	SICK PERSON	(S) COM HWY 34 185 WEST (N) RACETRAC	

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
01/09/2022 17:56:52	2022006314		1 AMLAJACK BLVD	ACCIDENT WITH INJURY	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/09/2022 18:11:53	2022006324		1 AMLAJACK BLVD		(S) COM HWY 34 I85 WEST (N RACETRAC	
01/10/2022 03:48:41	2022006555	2200007100	1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/10/2022 03:49:21	2022006556		1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/10/2022 11:20:15	2022006772		1 AMLAJACK BLVD	DISPUTE NON FAMILY	DIST: DIST: 575.82 FT (S) RACETRAC	
01/10/2022 11:22:43	2022006773		1 AMLAJACK BLVD	DISPUTE NON FAMILY	DIST: DIST: 575.82 FT (S) RACETRAC	
01/10/2022 11:51:57	2022006789		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
01/12/2022 04:57:34	2022008156		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/14/2022 20:47:46	2022010125		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
01/15/2022 01:42:16	2022010261	2201006505	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
01/15/2022 04:14:23	2022010337		1 AMLAJACK BLVD	CRIMINAL TRESPASS	(S) COM HWY 34 I85 WEST RACETRAC	
01/16/2022 12:31:40	2022011254		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
01/16/2022 13:51:05	2022011283		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV DIST: 135.35 ft (S) RACETRAC		
01/16/2022 20:44:49	2022011446		1 AMLAJACK BLVD	CRIMINAL TRESPASS	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/16/2022 22:57:18	2022011487		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
01/16/2022 23:25:57	2022011499	2201000562	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
01/17/2022 21:14:19	2022012062		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
01/18/2022 17:38:47	2022012669	2201000617	1 AMLAJACK BLVD	TRAFFIC STOP	IN P/LOF RACETRAC	
01/18/2022 19:54:39	2022012749		1 AMLAJACK BLVD	CRIMINAL TRESPASS	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/18/2022 20:31:30	2022012768		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
01/18/2022 22:17:44	2022012836	2201000629	1 AMLAJACK BLVD	CRIMINAL TRESPASS	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/19/2022 01:30:21	2022012953		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
01/20/2022 11:03:47	2022014094		1 AMLAJACK BLVD	CRIMINAL TRESPASS	DIST: DIST: 21.82 ft (S) C RACETRAC	
01/20/2022 14:31:56	2022014209		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
01/20/2022 16:25:35	2022014278		1 AMLAJACK BLVD	CRIMINAL TRESPASS	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/21/2022 15:48:47	2022014978		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST RACETRAC	
01/22/2022 21:26:49	2022015813		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
01/23/2022 05:02:22	2022016069	2201000762	1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/23/2022 05:10:48	2022016075		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/24/2022 11:00:13	2022016852		1 AMLAJACK BLVD	TRAFFIC STOP	NOW OWNED BY QUICK TRIP ( RACETRAC	
01/25/2022 03:31:20	2022017293	2200001773	1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/25/2022 03:32:10	2022017294		1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/28/2022 01:37:02	2022019369		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/28/2022 17:45:01	2022019920	2201000957	1 AMLAJACK BLVD	THEFT	RACETRAC	
01/28/2022 18:23:47	2022019949		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 I85 WEST RACETRAC	

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
01/28/2022 19:26:59	2022019981		1 AMLAJACK BLVD	WELFARE CHECK	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/28/2022 22:42:39	2022020115		1 AMLAJACK BLVD	MISSING PERSON	(S) COM HWY 34 I85 WEST (N RACETRAC	
01/29/2022 00:23:46	2022020154		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 I85 WEST RACETRAC	
01/29/2022 02:21:59	2022020199		1 AMLAJACK BLVD	911 HANG UP CALL	DIST: 104.95 Ft (S) RACETRAC	
01/30/2022 00:08:11	2022020869		1 AMLAJACK BLVD	RADAR CALIBRATION	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/02/2022 17:38:33	2022023602		1 AMLAJACK BLVD	ASSAULT	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/03/2022 00:26:30	2022023798	2202000092	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/03/2022 11:36:59	2022024159		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/03/2022 19:34:07	2022024475		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: 119.16 FT (S RACETRAC	
02/04/2022 17:05:20	2022025039		1 AMLAJACK BLVD	UNKNOWN TROUBLE	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/05/2022 20:05:12	2022025889		1 AMLAJACK BLVD	SUPPLEMENTAL	DIST: 123.36 Ft (S) RACETRAC	
02/06/2022 08:12:46	2022026177		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: 123.36 Ft (S) RACETRAC	
02/06/2022 21:04:52	2022026570	2200002565	1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/06/2022 21:06:22	2022026571		1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/07/2022 10:53:25	2022026963		1 AMLAJACK BLVD	PSYCHIATRIC PATIENT	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/07/2022 11:00:37	2022026967		1 AMLAJACK BLVD	DISPUTE NON FAMILY	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/07/2022 11:07:32	2022026972		1 AMLAJACK BLVD	DISPUTE NON FAMILY	DIST: 31.92 ft (S)C RACETRAC	
02/07/2022 16:56:32	2022027180		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
02/09/2022 07:18:12	2022028245		1 AMLAJACK BLVD	911 HANG UP CALL	DIST: 8.07 Ft (S) CO RACETRAC	
02/09/2022 23:49:27	2022028829	2200002784	1 AMLAJACK BLVD	ALLEGIETS HIVES STINGS	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/10/2022 09:17:14	2022029018		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST RACETRAC	
02/10/2022 13:59:07	2022029167		1 AMLAJACK BLVD	ESCORT	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/10/2022 14:59:03	2022029201		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/10/2022 16:07:52	2022029250		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 I85 WEST RACETRAC	
02/10/2022 18:39:03	2022029363		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/10/2022 22:42:51	2022029506	2202000400	1 AMLAJACK BLVD	DISPUTE NON FAMILY	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/11/2022 08:03:11	2022029763		1 AMLAJACK BLVD	TRAFFIC HAZARD	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/12/2022 08:36:43	2022030641		1 AMLAJACK BLVD	THEFT	DIST: 93.93 ft (S)C RACETRAC	
02/14/2022 20:53:12	2022032536		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/17/2022 05:17:48	2022034259	2202000651	1 AMLAJACK BLVD	DISPUTE NON FAMILY	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/17/2022 17:15:46	2022034715		1 AMLAJACK BLVD	DISPUTE NON FAMILY	DIST: 227.08 Ft (S) RACETRAC	
02/17/2022 22:11:26	2022034898	2202000676	1 AMLAJACK BLVD	DISPUTE NON FAMILY	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/18/2022 00:05:14	2022034940		1 AMLAJACK BLVD	DISPUTE NON FAMILY	(S) COM HWY 34 I85 WEST (N RACETRAC	
02/18/2022 12:03:54	2022035222		1 AMLAJACK BLVD	ALARM RSD OR BUSN	(S) COM HWY 34 I85 WEST (N RACETRAC	

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
02/18/2022 13:07:33	2022035256		1 AMLAJACK BLVD	CRIMINAL TRESPASS	DIST: 41.39 ft (S)C	RACETRAC
02/19/2022 10:43:10	2022035862		1 AMLAJACK BLVD	ESCORP	(S)COM HWY 34 I85 WEST	(N) RACETRAC
02/19/2022 20:36:22	2022036191		1 AMLAJACK BLVD	SUSPICIOUS SUBV VEH ACTI	(S)COM HWY 34 I85 WEST	(N) RACETRAC
02/19/2022 20:47:15	2022036195		1 AMLAJACK BLVD	SUSPICIOUS SUBV VEH ACTI	(S)COM HWY 34 I85 WEST	(N) RACETRAC
02/26/2022 18:05:17	2022040984		1 AMLAJACK BLVD	TRAFFIC COMPLAINT	(S)COM HWY 34 I85 WEST	(N) RACETRAC
02/26/2022 18:10:46	2022040985		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	RACETRAC
02/26/2022 18:15:36	2022040989		1 AMLAJACK BLVD	TRAFFIC COMPLAINT	(S)COM HWY 34 I85 WEST	(N) RACETRAC
02/26/2022 18:24:26	2022040996	2202000974	1 AMLAJACK BLVD	TRAFFIC COMPLAINT	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/02/2022 21:38:42	2022044089		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/02/2022 21:54:07	2022044098	2203000103	1 AMLAJACK BLVD	SUSPICIOUS SUBV VEH ACTI	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/03/2022 10:13:09	2022044421		1 AMLAJACK BLVD	DISPUTE NON FAMILY	POMP 19	RACETRAC
03/03/2022 22:09:57	2022045005		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/04/2022 14:16:43	2022045516		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/05/2022 16:17:22	2022046367		1 AMLAJACK BLVD	ASSIST A MOTORIST	DIST: 88.42 ft (S)C	RACETRAC
03/07/2022 17:31:08	2022047761		1 AMLAJACK BLVD	FLAG DOWN	(S)COM HWY 34 I85 WEST	RACETRAC
03/07/2022 17:32:05	2022047763		1 AMLAJACK BLVD	FLAG DOWN	(S)COM HWY 34 I85 WEST	RACETRAC
03/07/2022 20:17:53	2022047849		1 AMLAJACK BLVD	TRAFFIC COMPLAINT	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/08/2022 00:31:45	2022048051		1 AMLAJACK BLVD	AREA LOG	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/08/2022 02:34:30	2022048124		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	RACETRAC
03/09/2022 00:35:41	2022048963		1 AMLAJACK BLVD	AREA LOG	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/11/2022 13:56:44	2022050750	2200004658	1 AMLAJACK BLVD	ACCIDENT WITH INJURY	DIST: 226.61 ft (S)	RACETRAC
03/11/2022 13:57:39	2022050752		1 AMLAJACK BLVD	ACCIDENT WITH INJURY	DIST: 226.61 ft (S)	RACETRAC
03/13/2022 12:50:46	2022052296		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	RACETRAC
03/15/2022 12:47:18	2022053664		1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	RACETRAC
03/15/2022 18:37:05	2022053814	2203000595	1 AMLAJACK BLVD	TRAFFIC STOP	(S)COM HWY 34 I85 WEST	RACETRAC
03/15/2022 18:37:06	2022053815		1 AMLAJACK BLVD	TRNG CASE	(S)COM HWY 34 I85 WEST	RACETRAC
03/16/2022 15:14:24	2022054351		1 AMLAJACK BLVD	911 HANG UP CALL	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/20/2022 13:42:16	2022057163	2203000770	1 AMLAJACK BLVD	ASSIST OTHER AGENCY	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/22/2022 11:16:55	2022058561		1 AMLAJACK BLVD	911 HANG UP CALL	DIST: 52.14 ft (S)C	RACETRAC
03/22/2022 20:44:29	2022058930		1 AMLAJACK BLVD	ESCORP	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/24/2022 12:02:27	2022060085	2200005462	1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/24/2022 12:03:00	2022060086	2203000906	1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/25/2022 16:10:32	2022060966		1 AMLAJACK BLVD	911 HANG UP CALL	DIST: 128.57 ft (S)	RACETRAC
03/27/2022 19:07:33	2022062604		1 AMLAJACK BLVD	RADAR CALIBRATION	(S)COM HWY 34 I85 WEST	(N) RACETRAC
03/27/2022 19:53:52	2022062630		1 AMLAJACK BLVD	SUSPICIOUS SUBV VEH ACTI	(S)COM HWY 34 I85 WEST	(N) RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
03/30/2022 03:50:14	2022064345		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/06/2022 22:31:30	2022069823		1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/10/2022 05:12:44	2022071903		1 AMLAJACK BLVD	THREATS	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/12/2022 00:50:09	2022073039		1 AMLAJACK BLVD	WELFARE CHECK	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/14/2022 01:12:25	2022074430	2204000444	1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/16/2022 00:27:22	2022076067		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/16/2022 18:31:13	2022076506		1 AMLAJACK BLVD	UNKNOWN TROUBLE	DIST: DIST: 211.28 FT (S) RACETRAC	
04/16/2022 19:04:21	2022076522		1 AMLAJACK BLVD	CRIMINAL TRESPASS	DIST: DIST: 165.26 FT (S) RACETRAC	
04/20/2022 15:35:39	2022079297		1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/20/2022 22:02:31	2022079505	2204000725	1 AMLAJACK BLVD	DISORDERLY CONDUCT	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/21/2022 14:29:54	2022079942		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
04/22/2022 05:33:26	2022080407	2204000767	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 19.97 FT (S) COM HWY RACETRAC	
04/23/2022 06:02:42	2022081208		1 AMLAJACK BLVD	DISPUTE NON FAMILY	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/24/2022 16:56:08	2022082267	2204000856	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
04/24/2022 16:59:03	2022082268		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
04/24/2022 18:23:05	2022082308		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/26/2022 00:39:53	2022083338		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 I85 WEST RACETRAC	
04/26/2022 22:28:28	2022083976		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
04/27/2022 00:23:02	2022084055		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 I85 WEST RACETRAC	
04/27/2022 01:35:30	2022084088		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/27/2022 05:05:57	2022084162	2204000955	1 AMLAJACK BLVD	HIT AND RUN	DIST: DIST: 282.02 FT (S) RACETRAC	
04/29/2022 02:41:45	2022085621		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N RACETRAC	
04/30/2022 00:47:06	2022086364		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST RACETRAC	
04/30/2022 11:16:52	2022086664	2200007832	1 AMLAJACK BLVD	BREATHING PROBLEMS	DIST: DIST: 136.89 ft (S) RACETRAC	
05/01/2022 17:01:53	2022087399	2205000019	1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
05/03/2022 05:28:35	2022088464	2205000075	1 AMLAJACK BLVD	THEFT	(S) COM HWY 34 I85 WEST (N RACETRAC	
05/03/2022 14:39:40	2022088768	2200008019	1 AMLAJACK BLVD	ACCIDENT WITH INJURY	(S) COM HWY 34 I85 WEST (N RACETRAC	
05/03/2022 14:42:01	2022088771		1 AMLAJACK BLVD	ACCIDENT WITH INJURY	(S) COM HWY 34 I85 WEST (N RACETRAC	
05/03/2022 14:49:56	2022088778		1 AMLAJACK BLVD	ACCIDENT WITH INJURY	(S) COM HWY 34 I85 WEST (N RACETRAC	
05/03/2022 16:45:39	2022088852		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
05/05/2022 16:04:54	2022090393		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
05/05/2022 21:20:49	2022090576		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST RACETRAC	
05/05/2022 22:35:59	2022090631		1 AMLAJACK BLVD	DISPUTE NON FAMILY	DIST: DIST: 57.07 ft (S) C RACETRAC	
05/05/2022 22:36:01	2022090632		1 AMLAJACK BLVD	DISPUTE NON FAMILY	DIST: DIST: 67.66 ft (S) C RACETRAC	
05/06/2022 01:04:21	2022090724	2205000191	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	

CALLS FOR SERVICE AT RACETRAC

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
05/06/2022 03:34:37	2022090796		1 AMLAJACK BLVD	FLIGHT IN PROGRESS	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/06/2022 03:35:48	2022090797		1 AMLAJACK BLVD	WELFARE CHECK	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/06/2022 11:13:30	2022090985		1 AMLAJACK BLVD	LOST OR MISLAID PROPERTY	DIST: 43.51 ft (S) C RACETRAC	
05/06/2022 11:18:47	2022090988		1 AMLAJACK BLVD	LOST OR MISLAID PROPERTY	DIST: 43.51 ft (S) C RACETRAC	
05/06/2022 22:13:28	2022091411		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/07/2022 03:34:01	2022091600		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/08/2022 14:10:09	2022092540		1 AMLAJACK BLVD	911 HANG UP CALL	DIST: 151.61 ft (S) RACETRAC	
05/10/2022 15:12:38	2022094017		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/11/2022 23:15:35	2022095000		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
05/12/2022 18:50:21	2022095666		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST RACETRAC	
05/14/2022 18:24:03	2022097120		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 117.54 ft (S) RACETRAC	
05/15/2022 04:00:15	2022097385		1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/15/2022 04:00:22	2022097386		1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/16/2022 02:50:23	2022097987		1 AMLAJACK BLVD	THEFT	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/16/2022 04:08:05	2022098007		1 AMLAJACK BLVD	SUPPLEMENTAL	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/17/2022 02:50:16	2022098766		1 AMLAJACK BLVD	911 HANG UP CALL	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/17/2022 02:50:17	2022098767		1 AMLAJACK BLVD	SICK PERSON	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/19/2022 07:51:29	2022100304		1 AMLAJACK BLVD	DISORDERLY CONDUCT	DIST: 42.27 ft (S) C RACETRAC	
05/19/2022 07:52:04	2022100305		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: 56.43 ft (S) C RACETRAC	
05/19/2022 07:52:42	2022100306		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: 56.43 ft (S) C RACETRAC	
05/20/2022 10:46:06	2022101199		1 AMLAJACK BLVD	STOLEN VEHICLE	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/21/2022 12:31:10	2022102002		1 AMLAJACK BLVD	CRIMINAL DAMAGE TO PROPE	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/22/2022 18:24:58	2022102810		1 AMLAJACK BLVD	DISPUTE NON FAMILY	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/24/2022 02:32:27	2022103772		1 AMLAJACK BLVD	AREA LOG	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/24/2022 12:01:48	2022104031		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/27/2022 22:59:09	2022106626		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
05/28/2022 00:31:46	2022106680		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
05/28/2022 00:34:13	2022106681		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
05/28/2022 16:47:38	2022107138		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: 92.04 ft (S) C RACETRAC	
05/28/2022 21:15:23	2022107298		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: 155.6 ft (S) C RACETRAC	
05/29/2022 03:01:31	2022107451		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
05/31/2022 14:55:13	2022109038		1 AMLAJACK BLVD	WELFARE CHECK	(S) COM HWY 34 I85 WEST (N) RACETRAC	
05/31/2022 21:36:04	2022109260		1 AMLAJACK BLVD	HIT AND RUN	DIST: 62.02 ft (S) C RACETRAC	
06/01/2022 00:20:07	2022109344		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: 37.68 ft (S) C RACETRAC	
06/02/2022 04:33:17	2022110175		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	

CALLS FOR SERVICE AT RACETRAC



Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
06/02/2022 14:39:47	2022110480		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/02/2022 22:53:28	2022110743		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST RACETRAC	
06/03/2022 04:03:40	2022110845	2206000088	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
06/03/2022 07:12:59	2022110908		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST RACETRAC	
06/03/2022 19:51:44	2022111344		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/03/2022 23:41:59	2022111466		1 AMLAJACK BLVD	DISPUTE NON FAMILY	DIST: DIST: 148.13 FT (S) RACETRAC	
06/04/2022 00:09:53	2022111481		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
06/05/2022 20:38:19	2022112803		1 AMLAJACK BLVD	PREPARE	DIST: DIST: 78.09 FT (S) C RACETRAC	
06/08/2022 08:33:44	2022114599		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/10/2022 02:42:31	2022116047		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/11/2022 02:16:58	2022116822	2206000382	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
06/11/2022 14:21:01	2022117144	2200010499	1 AMLAJACK BLVD	BREATHING PROBLEMS	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/13/2022 22:00:52	2022118760		1 AMLAJACK BLVD	ASSIST A MOTORIST	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/13/2022 22:56:13	2022118796		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
06/13/2022 23:19:02	2022118805		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/14/2022 09:24:01	2022119144		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
06/14/2022 11:49:05	2022119254	2206000511	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
06/14/2022 21:30:02	2022119683		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/16/2022 01:08:32	2022120594		1 AMLAJACK BLVD	STOLEN VEHICLE	DIST: DIST: 47.44 ft (S) C RACETRAC	
06/17/2022 01:09:09	2022121313		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
06/18/2022 20:27:21	2022122733		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
06/22/2022 00:46:58	2022124999	2200011196	1 AMLAJACK BLVD	FUEL SPILL	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/22/2022 00:48:34	2022125001		1 AMLAJACK BLVD	ASSIST OTHER AGENCY	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/22/2022 00:48:37	2022125002		1 AMLAJACK BLVD	ASSIST OTHER AGENCY	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/22/2022 04:08:33	2022125086		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/23/2022 22:04:02	2022126584		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
06/23/2022 23:30:19	2022126625		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/24/2022 01:54:01	2022126713		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/25/2022 00:26:14	2022127420	2200011395	1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	DIST: DIST: 136.94 ft (S) RACETRAC	
06/25/2022 00:26:26	2022127421		1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	DIST: DIST: 136.94 ft (S) RACETRAC	
06/25/2022 05:21:35	2022127551	2200011407	1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/25/2022 05:22:27	2022127553		1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/25/2022 05:25:19	2022127554		1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/25/2022 23:23:02	2022128031		1 AMLAJACK BLVD	NEXT LIST WRECKER	(S) COM HWY 34 I85 WEST RACETRAC	
06/26/2022 13:41:15	2022128352		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV HWY	47 NM S 85 RACETRAC	

Call Time	Event ID	Rpt #	Street	Nature	Additional Street	Business
06/26/2022 13:48:06	2022128354		1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV HAPPEN AT 471855 -		RACETRAC
06/27/2022 05:24:01	2022128719		1 AMLAJACK BLVD	FLAG DOWN	(S) COM HWY 34 I85 WEST	RACETRAC
06/27/2022 21:35:51	2022129361		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/29/2022 01:56:30	2022130365		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/29/2022 11:51:08	2022130663		1 AMLAJACK BLVD	I FO RACE TRACK (S) COM HWY RACETRAC		
06/29/2022 11:51:21	2022130664		1 AMLAJACK BLVD	ACCIDENT WITH INJURY	DIST: DIST: 175.09 FT (S RACETRAC	
06/29/2022 11:52:34	2022130665	2200011671	1 AMLAJACK BLVD	ACCIDENT WITH INJURY	DIST: DIST: 175.09 FT (S RACETRAC	
06/29/2022 11:53:00	2022130666		1 AMLAJACK BLVD	ACCIDENT WITH INJURY	DIST: DIST: 175.09 FT (S RACETRAC	
06/29/2022 23:10:42	2022131107		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/29/2022 23:14:29	2022131109	2206001036	1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
06/29/2022 23:19:07	2022131114		1 AMLAJACK BLVD	ASSIST OTHER AGENCY	(S) COM HWY 34 I85 WEST RACETRAC	
06/30/2022 04:34:38	2022131235		1 AMLAJACK BLVD	TRAFFIC STOP	(S) COM HWY 34 I85 WEST RACETRAC	
06/30/2022 18:09:46	2022131665		1 AMLAJACK BLVD	ASSIST OTHER AGENCY	(S) COM HWY 34 I85 WEST (N RACETRAC	
06/30/2022 18:10:09	2022131667		1 AMLAJACK BLVD	ASSIST OTHER AGENCY	(S) COM HWY 34 I85 WEST (N RACETRAC	
07/03/2022 01:56:31	2022133632		1 AMLAJACK BLVD	LOG INFORMATION	EAST POINT RACETRAC	
07/03/2022 19:50:35	2022134128		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	(S) COM HWY 34 I85 WEST (N RACETRAC	
07/04/2022 05:41:28	2022134434		1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST (N RACETRAC	
07/04/2022 05:41:49	2022134435	2200012010	1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST (N RACETRAC	
07/04/2022 05:43:14	2022134438		1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST (N RACETRAC	
07/05/2022 09:14:53	2022135195		1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST (N RACETRAC	
07/05/2022 09:15:14	2022135196		1 AMLAJACK BLVD	UNKNOWN PROBLEM PERSON D	(S) COM HWY 34 I85 WEST (N RACETRAC	
07/05/2022 21:28:33	2022135634		1 AMLAJACK BLVD	WELFARE CHECK	(S) COM HWY 34 I85 WEST (N RACETRAC	
07/08/2022 04:56:53	2022137415		1 AMLAJACK BLVD	SUSPICIOUS SUBJ VEH ACTI	DIST: DIST: 124.76 FT (S) RACETRAC	
07/08/2022 07:27:18	2022137484	2200012296	1 AMLAJACK BLVD	ASSIST A MOTORIST	DIST: DIST: 128.06 ft (S) RACETRAC	
07/09/2022 20:53:06	2022138567		1 AMLAJACK BLVD	CHEST PAIN	DIST: DIST: 27.45 ft (S) C RACETRAC	
07/09/2022 20:54:03	2022138568		1 AMLAJACK BLVD	ESCORT	(S) COM HWY 34 I85 WEST (N RACETRAC	
07/10/2022 14:20:32	2022138948		1 AMLAJACK BLVD	911 HANG UP CALL	(S) COM HWY 34 I85 WEST (N RACETRAC	
07/10/2022 14:20:51	2022138949		1 AMLAJACK BLVD		DIST: DIST: 111.23 ft (S) RACETRAC	
07/11/2022 06:33:53	2022139335		1 AMLAJACK BLVD	AREA LOG	DIST: DIST: 78.14 ft (S) C RACETRAC	
07/11/2022 21:32:47	2022139851		1 AMLAJACK BLVD	DISPUTE NON FAMILY	(S) COM HWY 34 I85 WEST (N RACETRAC	
07/13/2022 07:20:46	2022140895		1 AMLAJACK BLVD	TRAFFIC STOP	DIST: DIST: 120.28 ft (S) RACETRAC	
07/14/2022 15:44:22	2022141838	2207000458	1 AMLAJACK BLVD	ACCIDENT ROADWAY OR PRIV	DIST: DIST: 76.18 ft (S) RACETRAC	
07/14/2022 15:46:03	2022141840		1 AMLAJACK BLVD		DIST: DIST: 153.2 ft (S) C RACETRAC	
07/14/2022 18:04:47	2022141918	2207000466	1 AMLAJACK BLVD	FIGHT IN PROGRESS	DIST: DIST: 79.18 ft (S) C RACETRAC	
07/14/2022 18:05:06	2022141919		1 AMLAJACK BLVD		(S) COM HWY 34 I85 WEST (N RACETRAC	

CALLS FOR SERVICE AT RACETRAC

September 30, 2022

Dear, Planning and Zoning, and City Council,

A proposed re-zoning for Anthony Drive, Newnan has been requested. The request for the corner lot to be changed to a commercial zoning.

I am Sandra Moye and have lived on Lynn Circle for 50 years. It is a great neighborhood with good people who live together quietly and frankly happily together. For a business to come into our neighborhood and change that, is just not acceptable. The Southern Development LLC purchased the property in question having full knowledge and understanding of the neighborhood and it's zoning. Trying to use statements such as "no one would buy so we can't sell this property" is not true. House's in this neighborhood sell quickly they have just chosen not to build a house on said corner. The request to stick a shipping container on this sight brings up the question, would these men want that at the end of their driveway and beside their house, furthermore would any of you want to look at that everyday?

This request does not fit our neighborhood and will only bring problems. Also the issue of Spot Zoning needs to be reviewed. Just because a business does not want to adhere to the zoning is no reason to go from residential to commercial.

If they want to make this a park, wonderful, donate the land to the City of Newnan.

Also it was noted that their plan did not include any flood plan with the EPA and that should be done as Anthony floods quite often.

In Georgia there has been several cases about this very thing. Please see below:

In a zoning case, the most common challenge is to the constitutionality of the existing zoning classification under a takings analysis. *DeKalb County v. Dobson*, 267 Ga. 624, 482 S.E.2d 239 (1997).

The zoning ordinance is presumptively valid. *Grados v. Bd. of Commr's of Richmond County*, 256 Ga. 469, 471, 349 S.e.2d 707 (1986). "The presumption that a governmental zoning decision is valid can be overcome only by a plaintiff landowner's showing by clear and convincing evidence that the zoning classification is a significant detriment to him, and is insubstantially related to the public health, safety, morality and welfare. Only after both of these showings are made is a governing authority required to come forward with evidence to justify a zoning ordinance as reasonably related to the public interest. If a plaintiff landowner fails to make a showing by clear and convincing evidence of a significant detriment and an insubstantial relationship to the public welfare, the landowner's challenge to the zoning ordinance fails." *DeKalb County v. Dobson*, 267 Ga. 624, 626, 482 S.E.2d 239 (1997) Id.

The significant detriment can be difficult to show. See *Gwinnett Co. v. Davis*, 271 Ga. 158, 517 S.E.2d 324 (1999) (evidence that a landowner would suffer economic loss without rezoning was insufficient to show substantial detriment). There are a number of cases where the courts found a property has not suffered a significant detriment. "[A] significant detriment to the landowner is not shown by the fact that the property would be more valuable if rezoned, or by the fact that it would be more difficult to develop the property as zoned than if rezoned." *DeKalb v. Dobson*, 267 Ga. at 626. *Delta Cascade Partners, II v. Fulton Co.*, 260 Ga. 99, 100, 390 S.E.2d 45 (1990). "[E]vidence only that it would be difficult to develop the property under its existing zoning or that the owner will suffer an economic loss unless the property is rezoned is not sufficient to support the legal conclusion that the owner suffers a significant detriment." *Gwinnett Co. v. Davis*, 268 Ga. 653, 654, 492 S.E.2d 523 (1997); See *Holy Cross Lutheran Church, Inc. v. Clayton Co.*, 257 Ga. 21, 23, 354 S.E.2d 151 (1987).

After a plaintiff shows significant detriment, he still needs to prove that the current zoning is insubstantially related to the public health, safety, morality and welfare. *DeKalb Co. v. Dobson*, 267 Ga. at 626; *Browning v. Cobb County*, 259 Ga. 430, 383 S.E.2d 126 (1989) (showing of detriment outweighed by public benefit of present zoning classification). This requires proof that there is no logic to the existing zoning classification. It can be shown by pointing to the incompatibility of the subject zoning with the neighborhood or the changing character of the neighborhood. However, it can be difficult to prove if the property is simply on the boundary of the zoning district, which is commonly referred to as a "fringe area." See *Holy Cross Lutheran Church v. Clayton County*, 257 Ga. 21, 354 S.E.2d 151 (1987).

Takings claims are challenging to prove under Georgia law, but under federal law they are even more so. Federal courts have held that the property owner must show that the property has been deprived of all economically viable use. *Corn v. City of Lauderdale Lakes*, 95 F.3d 1066, 1072 (11th Cir. 1996). *Cobb County v. McColister*, 261 Ga. 876, 413 S.E.2d 441 (1992). Federal takings claims are generally not ripe unless the state has failed to provide a remedy. A federal claim cannot ripen if the state provides method of redress for a taking without just compensation, and the federal courts have held that Georgia provides such a remedy. See *Bickerstaff Clay Products Co., Inc. v. Harris County, Ga.*, 89 F.3d 1481, 1491 (11th Cir. 1996). Because of these holdings, the aggrieved property owner will normally bring the takings claim in superior court.

We love our neighborhood and do not need anything that would in the future cause problems for us. It is about us who actually live here and have done so for many years.

I ask that you protect us the citizens of Newnan and our family's from the problems that would come should this re-zoning be permitted. Thank you for your help.

Sincerely,

A handwritten signature in cursive script that reads "Sandra Moye".

Sandra Moye

**Dean Smith**

Opposition statement from Laura Holl, received on 11-14-22

**From:**

**Sent:**

**To:**

**Subject:**

Proposed Zoning Change from RS-15 to CGN - Jefferson Street and Anthony Drive

Good Afternoon Mr. Smith,

I am writing this email in opposition of the proposal zoning change from RS-15 to CGN, the property is on the corner of Jefferson Street and Anthony Drive. We are residents of Coweta County, living in the City of Newnan, in the neighborhood where this zoning change is being brought forth.

Our neighborhood has been a quiet gem for many years. Although, in the past few years, we have noticed more vehicles using it as a thru-way from Farmer Industrial Blvd. to Jefferson Street and vice-versa. The cars are driving fast and sometimes not stopping at the stop sign in front of our house. One of the main reasons we fell in love with the neighborhood is the proximity to everything Newnan has to offer.

As for the gentleman who has requested this zoning change, we too have upgraded our property by renovating the house with new siding, paint, windows, roof, appliances etc., but, unlike the gentleman who has brought forth this idea of a Container Coffee Shop on the corner of Jefferson St. and Anthony Drive, we live here and DO NOT want more traffic in our little slice of heaven.

There are already 18 wheelers buzzing down Jefferson Street. The green space (not much of it) the gentleman has spoken about, parallels the existing sidewalk and there is no need for another path. This can only bring vagrants and mischief to our neighborhood. Bullsboro is a stones throw away with every convenience, and coffee shop imaginable. We are excited about Dunkin coming to this side of the interstate, so we know we would not patron the container coffee shop for our coffee.

In conclusion, we do not see our neighborhood and surrounding area sustaining a coffee shop, when there are options so close to home. Please consider our opposition of approving the proposal of zoning change from RS-15 to CGN, we STRONGLY disapprove!

Thank you for your time,

Laura Holl  
Lynn Circle  
Newnan, GA 30263



*Meeting Affordable Housing Challenges: In-Up-Out!*

January 4, 2023

Mr. Cleatus Phillips, City Manager  
City of Newnan  
25 LaGrange Street  
Newnan, GA 30263

Hello Mr. Phillips, the Housing Authority of Newnan received a donation of six movie trailers in 2021. We used the trailers to house families displaced by the tornado that hit Newnan in 2021. We created a site on 10 Jordan Street to house the trailers. We are requesting to continue to store the trailers on this site. We plan to disconnect the utilities and prepare the trailers for storage. The trailers will be available for emergency housing purposes only and can be use by citizens of Newnan through a referral from a local agency.

If you have further questions, please let me know.

Thanks.

A handwritten signature in blue ink, appearing to read "Sandra M. Strozier", is written over a horizontal line.

Sandra M. Strozier  
President/CEO









**From:** Mr Walker <[bw91871bw@gmail.com](mailto:bw91871bw@gmail.com)>  
**Sent:** Monday, January 16, 2023 4:42 PM  
**To:** Hasco Craver <[hcraver@newnanga.gov](mailto:hcraver@newnanga.gov)>  
**Subject:** Brent Walker

**Letter of Intent for Proposed Development**  
**23 Ray St. Newnan, GA 30263**  
**26 Ray St. Newnan, GA 30263**

Dear City of Newnan,

It is our pleasure to submit this letter of intent to pursue land use and related approvals for the redevelopment of the said properties in the City of Newnan. This Project will include single family homes which will benefit deserving families and the City of Newnan by providing the community with new residents while increasing the property value in the downtown area. The new homes will invigorate the City of Newnan by providing additional home diversity that complements the eclectic make-up of the neighborhood. In closing, we look forward to working with the City of Newnan throughout the approval process to transform these key sites along Ray Street and others.

Sincerely,  
M.O.V.E Real Estate Group

**Motion to Enter into Executive Session**

I move that we now enter into closed session as allowed by O.C.G.A. §50-14-4 and pursuant to advice by the City Attorney, for the purpose of discussing

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And that we, in open session, adopt a resolution authorizing and directing the Mayor or presiding officer to execute an affidavit in compliance with O.C.G.A. §50-14-4, and that this body ratify the actions of the Council taken in closed session and confirm that the subject matters of the closed session were within exceptions permitted by the open meetings law.

**Motion to Adopt Resolution after Adjourning Back into Regular Session**

I move that we adopt the resolution authorizing the Mayor to execute the affidavit stating that the subject matter of the closed portion of the council meeting was within the exceptions provided by O.C.G.A. §50-14-4(b).